



## Application for Architectural Review Board

**\* This application must be filled out completely and signed before submittals are placed on the ARB agenda.**

The purpose of Architectural Review Board shall be to two-fold; to develop architectural and design guidelines for the City of Ladue in accordance with section 110-70 and to apply those guidelines in reviewing projects within the City as to whether or not the project adheres to such guidelines.

### APPLICANT INFORMATION

Name of Applicant: Yazan Abdalla and Deena Saeed

Phone #: 3145500089

Email address of Applicant (for review comments): deenasaheed@gmail.com dr.yazanabdalla@gmail.com

### PROJECT PROPERTY INFORMATION

Address for proposed work: 4 Glenview Rd. , 63124

Zoning District: Ladue ,C Residential Parcel ID # (St. Louis county record): Parcel 4 , plat no.2 lot 5

DESCRIPTION OF PROPOSED PROJECT: New Residential

### Additional Information:

- Professionally sealed plans are not required for ARB review.
- Plans for projects involving alterations and repairs, which do not affect the outward appearance of a building, and existing decks, fences, window replacements and roofing shingle replacements shall not require approval of the Architectural Review Board.
- Revised plans with any changes predicated by the ARB will need to be submitted with the building permit application to the Department of Planning and Development with final trustee approval (if applicable.)
- Projects approved by ARB should be submitted for building permits within 180 days or the ARB approval may become void.

**By signing this application, you acknowledge that by submitting an incomplete application, your petition will not be added to the meeting agenda.**

X  Yazan Abdalla  Deena Saeed Date: 01/26/2022

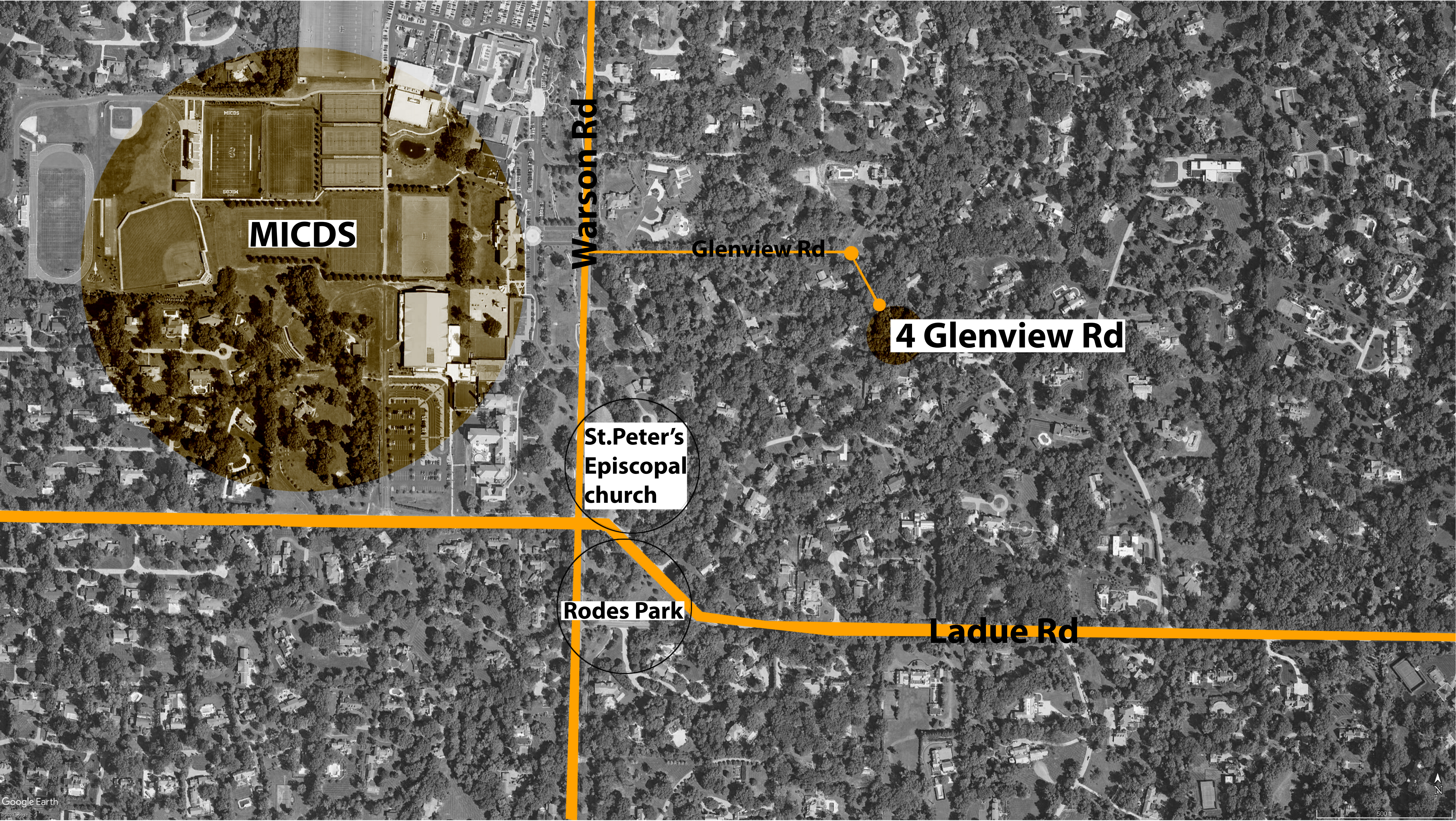
*\* This application and review for City of Ladue building permitted purposes only. Please be aware of any additional covenants and indentures which may be recorded with your subdivision. Approval of this ARB proposal does not waive any other permit or other authorization by the City that may be required for you to fully complete your proposed project.*



PROJECT: NEW RESIDENCE

4 GLENVIEW RD  
LADUE, MO

DR.YAZAN ABDALLA & DEENA SAEED



Project Team

GENERAL CONTRACTOR :  
GEORGE MUEHLEMANN  
MUEHLEMANN Signature Homes  
314-753-9990

CIVIL ENGINEER :  
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314-368-3040

LANDSCAPE ARCHITECT:  
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BAXTER GARDENS  
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636-532-1033

MASTER ARBORIST :  
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ARCHITECTURAL DESIGN:  
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DOCUMENT PREPARED BY :  
DEENA SAEED  
BRIAN BALLOK

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CONTEXT



Property to the North @2 Glenview Dr (The Remis)



Property to the West @ 6 Glenview Dr (The Butts)





PRECEDENTS Within Ladue Boundary



22 Fordyce Ln



9930 Litzsinger Rd



3 Old Ladue Dr



7 Warson Terrace



2 Tall Timbers



9239 Ladue Rd



City of  
LADUE

City of Ladue  
Street Map



KdG  
Kohlmann design Group



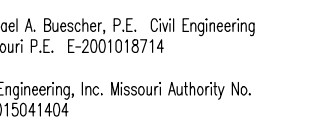
MAP DATE: MARCH 2012  
MAP UPDATED BY: Kohlmann design Group, Inc.

City Limit  
Rivers, Creeks, and Streams









Professional Engineer's seal affixed to this sheet states that the named Engineer has prepared or checked the preparation of the material shown only on this sheet. Other drawings and documents not exhibiting this seal shall not be considered prepared or checked by the responsibility of the undersigned.

**PROJECT REVISION:**

[illegible]

**4 Glenview Drive**  
Ladue, MO 63124

DATE: 06-09-2006  
DRAFTED BY: KB  
APPROVED BY: MB

**SHEET TITLE:**  
**SITE PLAN**

**HEET NUMBER:**

# C1

PROJECT NO: 21-553

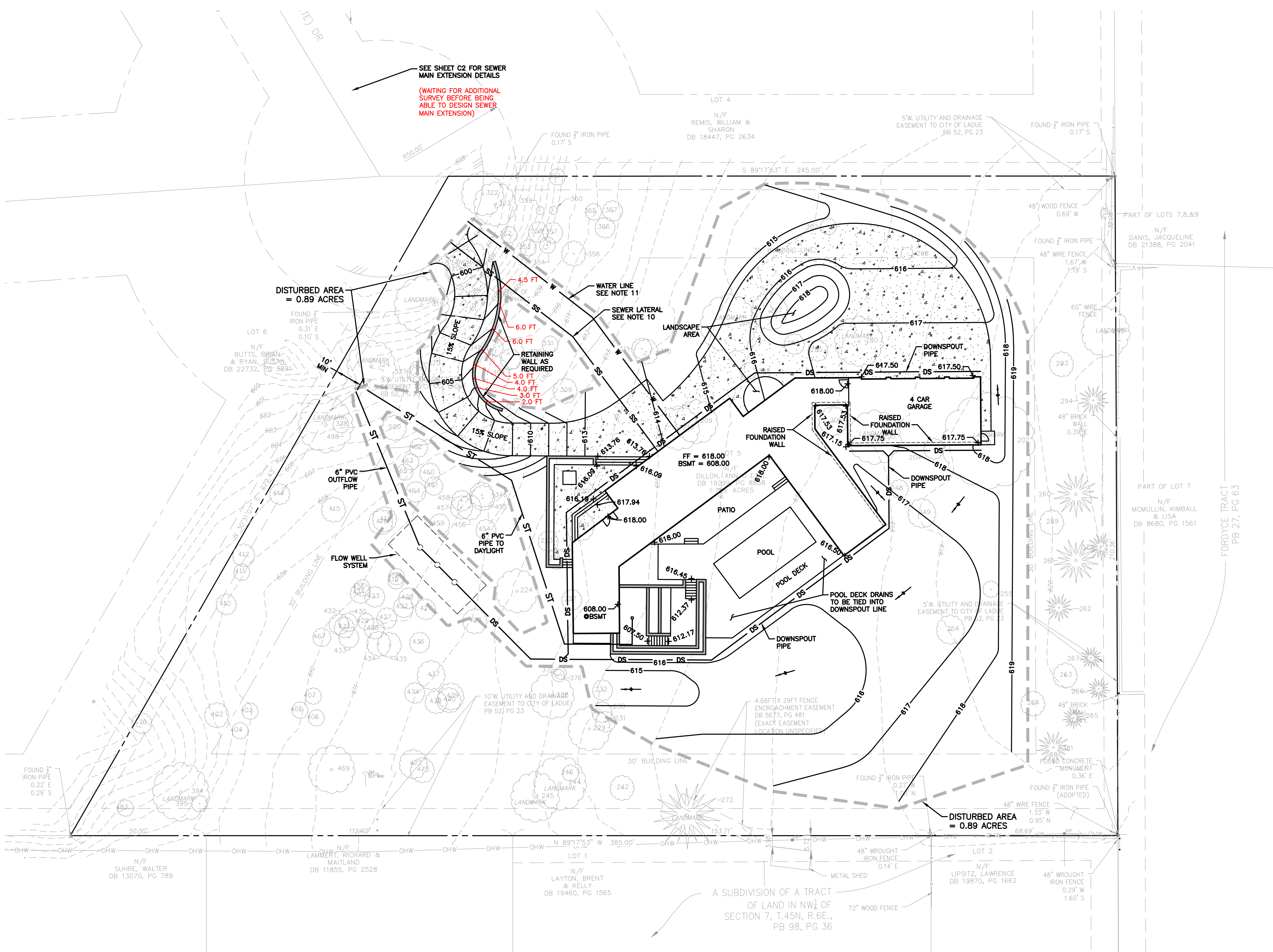


NOTES:

3. AREAS SURROUNDING THIS SITE MAY CONTAIN BOTH PEDESTRIAN AND VEHICLE TRAFFIC. ALL NECESSARY CARE SHALL BE TAKEN BY THE CONTRACTOR TO ENSURE THE SAFETY OF THE GENERAL PUBLIC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING AND MAINTAINING SAFE AND EFFICIENT PROJECT LIMITS. THE CONTRACTOR SHALL FOLLOW ALL FEDERAL, STATE AND LOCAL GUIDELINES WITH REGARDS TO CONSTRUCTION SAFETY THROUGHOUT THE ENTIRE DURATION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY BREACHES OF SAFETY OR DESTRUCTION OF PROPERTY RELATED TO THE CONSTRUCTION OF THIS PROJECT.
4. ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF ACCORDING TO ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL NECESSARY INSPECTIONS WITH MSD, AND/OR ALL OTHER UTILITY COMPANIES INVOLVED WITH THIS PROJECT. THE CONTRACTOR SHALL ALSO PAY ANY FEES ASSOCIATED WITH PERMITS, INSPECTIONS AND ANY OTHER CONSTRUCTION RELATED ACTIVITIES
6. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS NOT TO DAMAGE ANY EXISTING SITE FEATURES TO REMAIN. IF ANY DAMAGE OCCURS, THE CONTRACTOR SHALL CONTACT THE OWNERS REPRESENTATIVE IMMEDIATELY. THE CONTRACTOR SHALL REPAIR ALL DAMAGED ITEMS TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
7. UNDERGROUND FACILITIES, STRUCTURES, AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THAT THERE ARE OTHERS, THE EXISTENCE OF WHICH IS NOT PRESENTLY KNOWN OR SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR(S) TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION PRIOR TO ANY EXCAVATION OR TRENCHING WORK TO AVOID DAMAGING THEM.
8. ALL SEWER CONSTRUCTION AND MATERIALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH MSD STANDARD CONSTRUCTION SPECIFICATION, 2009.
9. MAINTENANCE OF ALL SEWERS DESIGNED AS "PUBLIC" SHALL BECOME THE RESPONSIBILITY OF MSD UPON DEDICATION OF THE SEWERS TO THE DISTRICT.
10. NO ALTERATIONS TO THE EXISTING DRAINAGE PATTERN ARE PROPOSED.
11. ALL TREES TO BE KEPT UNLESS NOTATED WITH "TO BE REMOVED" (TBR).
12. SANITARY SEWER SERVICE: NEW SANITARY SEWER LATERAL SHALL BE 6" PVC SLOPED AT 2% MINIMUM. FOLLOW ALL MSD STANDARDS FOR MACHINE TAP, TRENCHING AND BACKFILL. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3 FEET OF COVER OVER THE PROPOSED SEWER LATERAL.
13. WATER SERVICE:
  - THE CONTRACTOR'S PLUMBER WILL INSTALL THE SERVICE LINE FROM THE FOUNDATION OF THE BUILDING TO (4) FT FROM THE PROPOSED METER BOX LOCATION.
  - THE COPPER SERVICE WILL BE INSTALLED UP TO GROUND LEVEL AND TERMINATED. METER BOX TO BE INSTALLED BY MOAW WITHIN (5) FT OF THE PROPERTY LINE ON THE MAIN OR BUILDING SIDE OF THE PROPERTY LINE.
  - THE CUSTOMER'S REPRESENTATIVE WILL PURCHASE THE TAP FROM MOAW AT LEAST TWO (2) WEEKS IN ADVANCE OF NEEDING THE CONNECTION TO ALLOW FOR SCHEDULING.
  - THE CUSTOMER'S PORTION OF THE SERVICE LINE MUST BE INSTALLED PRIOR TO PURCHASING THE TAP FROM MOAW.
  - AT THE TIME OF PURCHASE, PROVIDE THE FOLLOWING:
    - TAP FEE; INCLUDES THE TAP TO THE WATER MAIN, SERVICE LINE INSTALLATION FROM THE WATER MAIN TO (4) FT BEYOND THE METER BOX LOCATION, METER BOX, AND THE METER SETTER.
    - COPY OF THE PLUMBING PERMIT.
    - DNR FORM 1
  - ONCE MOAW RECEIVES THE ABOVE DOCUMENTS AND FEES THE CUSTOMER'S ACCOUNT WILL BE SET UP AND THE TAP CONNECTION AND INSTALLATION WILL BE SCHEDULED.
  - MOAW WILL BE RESPONSIBLE TO EXCAVATE THE OSHA SAFE EXCAVATION FOR THE SERVICE CONNECTION, THE SERVICE CONNECTION, THE INSTALLATION OF THE SERVICE LINE FROM THE WATER MAIN TO (4) FT BEYOND THE METER BOX LOCATION, THE METER BOX, METER SETTER AND METER.
  - THE CONTRACTOR WILL ENSURE THE PROPERTY LINE IS CLEARLY IDENTIFIED, AND MUST REMAIN SO, DURING INSTALLATION OF THE SERVICE AND METER BOX.
  - THE METER WILL BE SET AT THE TIME OF THE MAIN BEING TAPPED FOR THE CONNECTION FOR 3" AND 1" METERS. 1-1/2" AND 2" METERS WILL BE INSTALLED WITHIN APPROXIMATELY A WEEK OF THE TAP CONNECTION.
14. NEW GAS SERVICE SHALL BE DETERMINED BY GOVERNING GAS COMPANY. GAS COMPANY SHALL DESIGN AND CONSTRUCT NEW GAS METER AND NEW GAS PIPING FROM THE BUILDING IN APPROXIMATE LOCATION SHOWN TO THE EXISTING GAS MAIN. CONTRACTOR SHALL COORDINATE WITH GAS COMPANY TO SCHEDULE NEW CONSTRUCTION WORK.
15. STORM SEWER SERVICE: ALL DOWNSPOUTS SHALL BE PIPED TO A PROPOSED NDS FLO-WELL DRY WELL SYSTEM.
16. GUTTER GUARDS SHALL BE INSTALLED ON ALL GUTTERS

**STORMWATER MANAGEMENT FUTURE DISTURBANCE NOTE:**  
PROJECT DISTURBANCE = 0.89 ACRES  
PROJECT RUNOFF DIFFERENTIAL = 0.723 CFS

ANY FUTURE LAND DISTURBANCE AND/OR INCREASE IN IMPERVIOUS AREA ON THIS SITE MAY REQUIRE ADDITIONAL STORMWATER MANAGEMENT PER MSD REGULATIONS IN PLACE AT THAT TIME (INCLUDING TOTAL LAND DISTURBANCE AND/OR IMPERVIOUSNESS ADDED ON THIS PLAN.) DETENTION FOR ANY FUTURE DEVELOPMENT SHALL INCLUDE THESE IMPROVEMENTS AS WELL.



DIFFERENTIAL RUNOFF CALCULATIONS:

EXISTING AREA	AREA (SF)	COVERAGE	ACRES	PI	CFS
ROOF	0.00	0.00%	0.000	4.20	0.000
POOL	0.00	0.00%	0.000	3.54	0.000
PAVEMENT	581.88	0.76%	0.013	3.54	0.047
LAWN	75,786.23	99.24%	1.740	1.70	2.958
TOTALS	76,368.11	100.00%	1.753		3.005

PROPOSED AREA	AREA (SF)	COVERAGE	ACRES	PI	CFS
ROOF	4,902.12	6.42%	0.113	4.20	0.473
POOL	560.00	0.73%	0.013	3.54	0.046
PAVEMENT	10,486.27	13.73%	0.241	3.54	0.852
LAWN	60,419.72	79.12%	1.387	1.70	2.358
TOTALS	76,368.11	100.00%	1.753		3.728

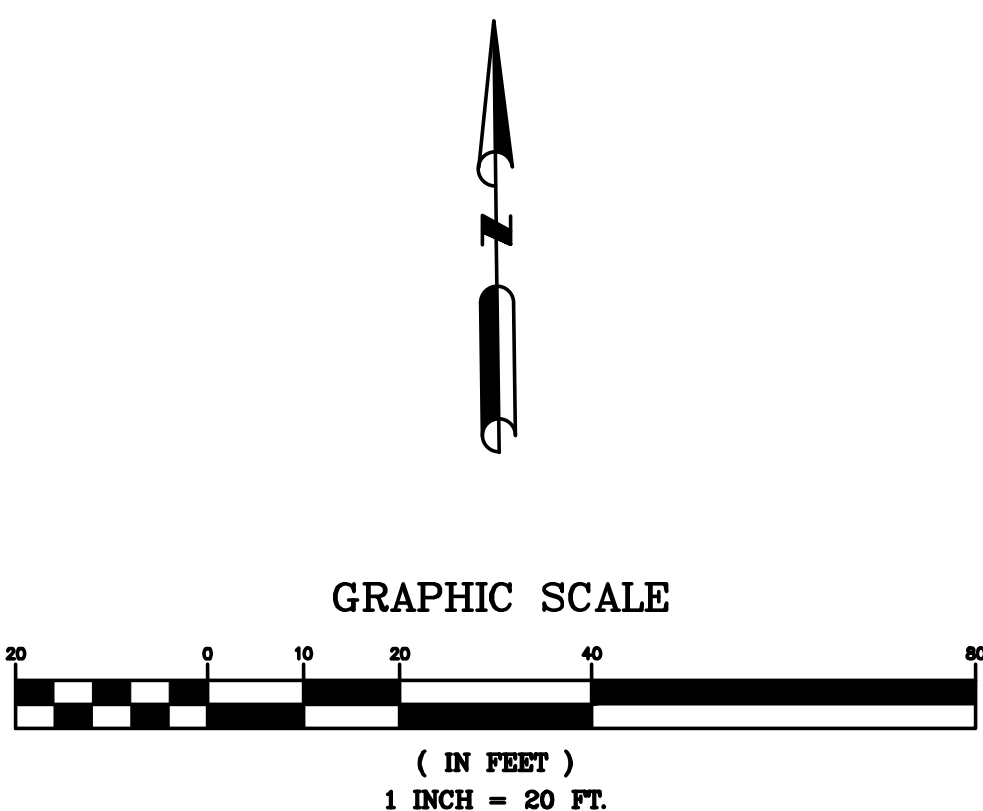
**TOTAL RUNOFF DIFFERENTIAL = 0.723 CFS (INCREASE)**

0.723 CFS OF ADDITIONAL STORMWATER RUNOFF NEEDS TO BE MITIGATED  
15YR 20MIN VOLUME =  $0.723 \times 20 \times 60 = 867.60$  CUBIC FEET

ROOF AREA TO BE COLLECTED = 4,902.12 = 0.476 CFS  
PAVED AREA TO BE COLLECTED = 3100.00 = 0.252 CFS  
TOTAL AREA = 0.728 CFS  
15YR 20MIN VOLUME = 0.728 x 20 x 60 = 873.60 CUBIC FEET

FLO-WELL DRY WELL VOLUME = 50 GALONS = 6.68 CUBIC FEET  
3 DRY WELL = 20.05 CUBIC FEET

ROCK VOID STORAGE AROUND FLOW-WELL  
 $= ((15 \times 36 \times 4) - 20.05) \times 0.4 = 855.98$  CUBIC FEET  
 TOTAL VOLUME = 20.05 + 855.98 = 876.03



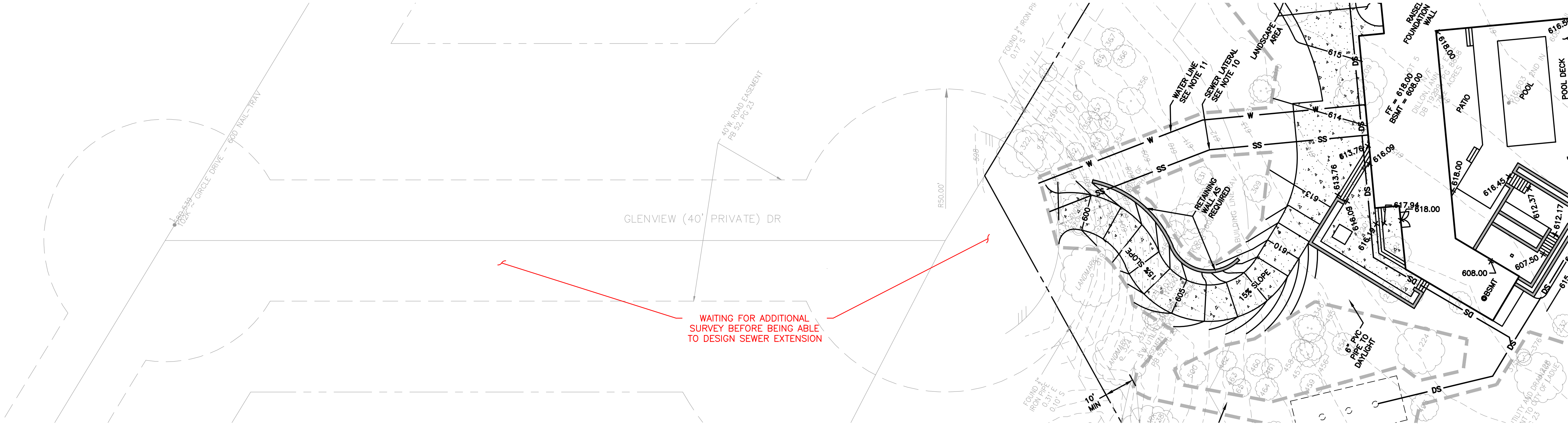
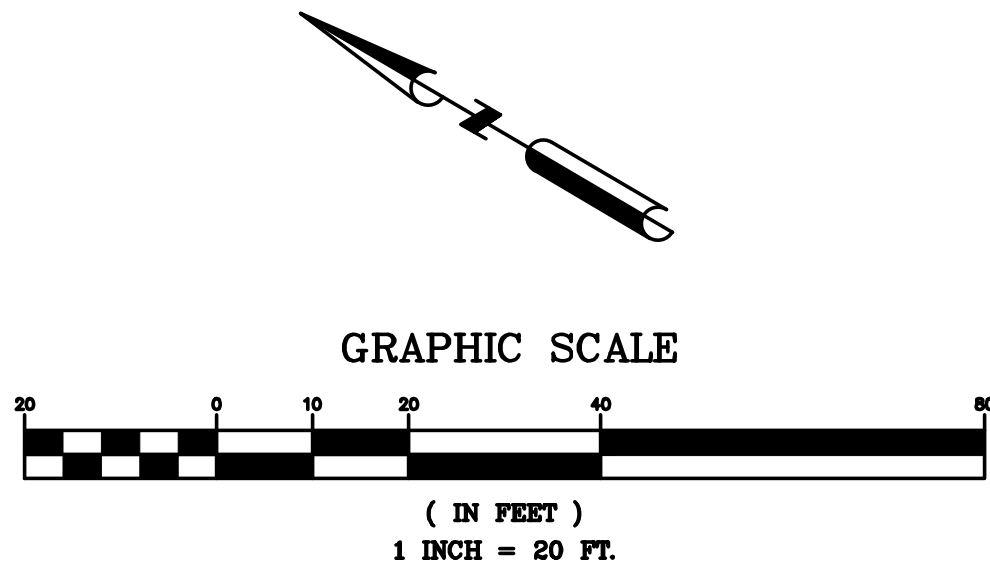
BASEMAP 18M MSD REF. NO. 22MSD-00XXX



NOTICE TO CONTRACTOR: THIS PROJECT INCLUDES CONSTRUCTION OF GREEN INFRASTRUCTURE OR RELOCATION, ALTERATION, OR RECONSTRUCTION OF EXISTING MSD FACILITIES. IN ACCORDANCE WITH THE MSD GREEN INFRASTRUCTURE PROGRAM AND MSD RESOLUTION 3263, THE DISTRICT REQUIRES THE WAGE RATE TO BE AT LEAST EQUAL TO THE MISSOURI PREVAILING WAGE RATE AT THE TIME OF CONSTRUCTION START. AN AFFIDAVIT CERTIFYING THAT THE MISSOURI PREVAILING WAGE RATE AT THE TIME OF CONSTRUCTION START HAS BEEN PAID FOR ALL WORK RELATED TO GREEN INFRASTRUCTURE OR RELOCATION, ALTERATION, OR RECONSTRUCTION OF EXISTING MSD FACILITIES IS REQUIRED PRIOR TO MSD CONSTRUCTION APPROVAL OF THIS PROJECT.

WAITING FOR ADDITIONAL  
SURVEY BEFORE BEING ABLE  
TO DESIGN SEWER PROFILE

**A** **SANITARY SEWER PROFILE**  
SCALE: 1"=20' HORZ. 1"=20' VERT.



**NOTES:**

- UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS AND THEREFORE THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THAT THERE MAY BE OTHER, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION BEFORE EXCAVATION OF TRENCHING TO AVOID DAMAGE THERETO.
- ALL DEMOLITION DEBRIS SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED OF ACCORDING TO ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS NOT TO DAMAGE ANY EXISTING SITE FEATURES TO REMAIN. IF ANY DAMAGE OCCURS, THE CONTRACTOR SHALL CONTACT THE OWNERS REPRESENTATIVE IMMEDIATELY. THE CONTRACTOR SHALL REPAIR ALL DAMAGED ITEMS TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
- CONTRACTOR SHALL CLEAN PUBLIC RIGHT-OF-WAY AND STREET DAILY DURING CONSTRUCTION ACTIVITIES.
- PRIOR TO THE START OF ANY DEMOLITION WORK, THE CONTRACTOR SHALL CONTACT UTILITY COMPANIES TO VERIFY OR FIELD LOCATE EXISTING UTILITIES.
- ANY DISTURBED OFF SITE PROPERTY SHALL BE REPLACED, IN KIND, AT THE CONTRACTOR'S EXPENSE.
- PRIOR TO OBTAINING A CONSTRUCTION PERMIT FROM THE METROPOLITAN ST. LOUIS SEWER DISTRICT, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE THE DISTRICT WITH A COPY OF AN EXECUTED CERTIFICATE OF INSURANCE INDICATING THAT THE PERMITTEE HAS OBTAINED AND WILL CONTINUE TO CARRY COMMERCIAL GENERAL LIABILITY AND COMPREHENSIVE AUTO LIABILITY INSURANCE. THE REQUIREMENTS AND LIMITS SHALL BE AS STATED IN THE RULES AND REGULATIONS AND ENGINEERING DESIGN REQUIREMENTS FOR SANITARY AND STORMWATER DRAINAGE FACILITIES, FEBRUARY 2018, SECTION 10.080.
- REMOVE REPLACE OR REHAB NOTE: THE REMOVAL AND REPLACEMENT, OR REHABILITATION OF THE EXISTING STRUCTURE WILL BE DETERMINED BY THE MSD FIELD INSPECTOR. IF THE STRUCTURE IS DETERMINED TO REMAIN IN PLACE, THEN THE TOP SHALL BE ADJUSTED TO GRADE, IF NEEDED.
- MSD BENCHMARK - 14-552 - NAVD88(SLC2011A) ELEV = 581.05 FTUS (OR) 177.103 METER NOVD29 ELEV = 581.34 FTUS STANDARD DNR ALUMINUM DISK STAMPED SL-42A SITUATED IN THE SOUTHERN EDGE OF A WOODED THICKET SEVERAL FEET NORTH OF THE NORTH EDGE OF PAVEMENT OF LADUE ROAD AND ROUGHLY 1 FOOT NORTH OF A METAL GUARD RAIL ALONG THE NORTH SIDE OF LADUE ROAD, GENERALLY OPPOSITE A RESIDENTIAL PROPERTY ON THE SOUTH SIDE OF LADUE ROAD ADDRESSED AS #9530 LADUE ROAD, 190 FEET MORE OR LESS EAST OF THE CENTERLINE OF FORDYCE LANE; ROUGHLY 109 FEET WEST OF THE CENTERLINE OF DRIVEWAY TO A RESIDENTIAL PROPERTY NORTH OF LADUE ROAD ADDRESSED AS #1 OAKLEIGH LANE, AND 20 FEET NORTH OF THE CENTERLINE OF LADUE ROAD.

**STANDARD CONSTRUCTION NOTES:**

ALL STORM AND SANITARY SEWER STRUCTURES AND APPURTENANCES TO BE DEDICATED TO MSD, OR TO BE PRIVATE UNDER MSD INSPECTION, SHALL CONFORM TO THE METROPOLITAN ST. LOUIS SEWER DISTRICT, STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWERS AND DRAINAGE FACILITIES, 2009. THAT WILL INCLUDE STANDARD DETAILS SHOWN THEREIN, AND SHALL INCLUDE ALL SUBSEQUENT CHANGES MADE THERETO.

SOME RECENT CHANGES CONCERN PIPE FIELD TESTING AND PERFORMANCE, AND INCLUDE THE FOLLOWING:

**PART 2 - MATERIALS OF CONSTRUCTION**

HIGH DENSITY POLYETHYLENE (HDPE) PIPE IS NOT ALLOWED FOR GRAVITY SEWERS FOR STORM, COMBINED, OR SANITARY SEWERS THAT ARE "PUBLIC" OR "PRIVATE UNDER MSD INSPECTION". POLYPROPYLENE (PP) PIPE IS ALLOWED AS FOLLOWS FOR GRAVITY SEWERS THAT ARE "PUBLIC" OR "PRIVATE UNDER MSD INSPECTION":

FOR USE IN SANITARY AND COMBINED SEWERS 12 TO 60 INCHES IN DIAMETER IT SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2764 "STANDARD SPECIFICATION FOR 6 TO 60 IN. POLYPROPYLENE (PP) CORRUGATED DOUBLE AND TRIPLE WALL PIPE AND FITTINGS FOR NON-PRESSURE SANITARY SEWER APPLICATIONS".

FOR USE IN STORM SEWERS 12 TO 60 IN. POLYPROPYLENE (PP) DUAL WALL PIPE AND FITTINGS FOR NON-PRESSURE STORM SEWER APPLICATIONS; OR

FOR USE IN STORM SEWERS 12 TO 60 INCHES IN DIAMETER IT SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2764 "STANDARD SPECIFICATION FOR 6 TO 60 IN. POLYPROPYLENE (PP) CORRUGATED DOUBLE AND TRIPLE WALL PIPE AND FITTINGS FOR NON- PRESSURE SANITARY SEWER APPLICATIONS."

**PART 4 - PIPE SEWER CONSTRUCTION**

SECTION B, PIPE FIELD TESTS, PARAGRAPH 2, REACH INTEGRITY TESTING - DELETE THE FIRST SENTENCE AND THE FOLLOWING REPLACEMENT APPLIES:

ALL SANITARY AND COMBINED SEWERS SHALL SUSTAIN A MAXIMUM LEAKAGE LIMIT OF 100 GALLONS/INCH OF PIPE DIAMETER/MILE OF LINE/DAY, AS REQUIRED BY THE MISSOURI DEPARTMENT OF NATURAL RESOURCES SPECIFICATIONS.

SECTION B, PIPE FIELD TESTS, PARAGRAPH 2, REACH INTEGRITY TESTING, SUBPARAGRAPH C, INFILTRATION/EXFILTRATION TESTING - DELETE THE SIXTH SENTENCE, CONCERNING LEAKAGE LIMITS, AND THE FOLLOWING REPLACEMENT APPLIES:

THE MEASUREMENT OF LEAKAGE SHALL NOT EXCEED 100 GALLONS/INCH OF PIPE DIAMETER/MILE OF LINE/DAY, AS REQUIRED BY THE MISSOURI DEPARTMENT OF NATURAL RESOURCES SPECIFICATIONS.

SECTION B, PIPE FIELD TESTS, PARAGRAPH 4, MANHOLE TESTING, SUBPARAGRAPH A, VACUUM TESTING - AFTER THE FIRST SENTENCE, THE FOLLOWING ADDITION APPLIES:

THE VACUUM TEST MUST BE PERFORMED PRIOR TO BACKFILLING AROUND THE MANHOLE UNLESS THE CONTRACTOR PROVIDES DOCUMENTATION FROM THE PRECAST MANHOLE MANUFACTURER STATING THAT THE MANHOLE MAY BE VACUUM TESTED AFTER BACKFILLING HAS TAKEN PLACE. THE CONTRACTOR MUST SUBMIT THIS DOCUMENTATION PRIOR TO BACKFILLING AROUND ANY MANHOLE.

SECTION B, PIPE FIELD TESTS, PARAGRAPH 4, MANHOLE TESTING, SUBPARAGRAPH B, EXFILTRATION TESTING - DELETE THE SECOND SENTENCE, CONCERNING LEAKAGE LIMITS, AND THE FOLLOWING ADDITION APPLIES:

FOR EXFILTRATION TESTING, THE ALLOWABLE LEAKAGE LIMIT IS 100 GALLONS/INCH OF PIPE DIAMETER/MILE OF LINE/DAY WHEN THE AVERAGE HEAD ON THE TEST SECTION IS THREE FEET (3') OR LESS.

NOTE - PIPE JOINTS WITH ADAPTERS AND COUPLINGS SHALL BE SUPPLIED AND INSTALLED WITH THE 316 STAINLESS STEEL NUT AND BOLT CLAMPS (T-BOLT) CONFIGURATION; AND WITH STAINLESS STEEL SHEAR BANDS, BEING A MINIMUM OF TWELVE (12) MILS (MSD STD. CONST. SPECS. PT. 2, SUBSECTION H-11). WORM DRIVE HOSE CLAMPS AND CONCRETE BACKFILLING (CAUSTICITY) WILL NO LONGER BE ALLOWED AT THOSE JOINTS. GRANULAR BACKFILL SHOULD BE USED. IF FLOWABLE FILL IS REQUIRED, THE CONTRACTOR SHALL WRAP AND TAPE THE ADAPTERS AND COUPLINGS WITH A SIX (6) MIL POLYETHYLENE SHEET.

IF REINFORCED CONCRETE PIPE IS USED FOR SANITARY OR COMBINED SEWERS LARGER THAN 27", ALL PIPE AND JOINTS SHALL CONFORM TO ASTM C 361. IN ADDITION, IF THE DIAMETER IS LARGER THAN 48", THE JOINT TYPE MUST INCLUDE A GASKET THAT IS CONFINED IN A GROOVE IN THE SPIGOT OF THE PIPE.

PUBLIC SEWER MAINTENANCE: MAINTENANCE OF THE SEWERS DESIGNATED "PUBLIC" SHALL BE THE RESPONSIBILITY OF THE METROPOLITAN ST. LOUIS SEWER DISTRICT UPON DEDICATION OF THE SEWERS TO THE DISTRICT.

COMPACTED FILL REQUIREMENTS: A REGISTERED PROFESSIONAL GEOTECHNICAL ENGINEER WILL VERIFY THAT ALL COMPRESSIBLE MATERIAL HAS BEEN REMOVED PRIOR TO FILL PLACEMENT AND THAT ALL FILL, AND FILLED AREAS, INCLUDING TRENCH BACKFILLS, UNDER BUILDINGS AND UNDER SANITARY AND STORM SEWER LINES CONSTRUCTED ABOVE THE ORIGINAL GROUND SURFACE, HAS BEEN COMPACTED TO 90% MODIFIED PROCTOR. FILL IS TO BE PLACED IN A MAXIMUM OF NINE-INCH (9") LIFTS. TESTS SHALL BE TAKEN AT A MAXIMUM OF FIFTY-FEET (50') WIDE INTERVALS ALONG THE ROUTE OF THE PIPE, AT A MAXIMUM INTERVAL OF TWO FEET (2'), VERTICALLY AND Laterally ON EACH SIDE OF THE PIPE, AT A DISTANCE EQUAL TO THE DEPTH OF FILL OVER THE PIPE. A COPY OF THESE RESULTS WILL BE SUBMITTED TO MSD PRIOR TO PLACEMENT OF THE SEWER PIPE.

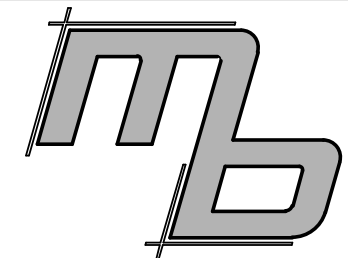
SANITARY/STORM/COMBINED (</= 1%): FOR SEWER PIPE (STORM, SANITARY AND COMBINED) WITH A DESIGN GRADE LESS THAN ONE PERCENT (1%), VERIFICATION OF THE PIPE GRADE WILL BE REQUIRED FOR EACH INSTALLED REACH OF SEWER, PRIOR TO ANY SURFACE RESTORATION OR INSTALLATION OF ANY SURFACE IMPROVEMENTS. THE CONTRACTOR'S FIELD SUPERVISOR WILL BE REQUIRED TO PROVIDE DAILY DOCUMENTATION VERIFYING THAT THE AS-BUILT PIPE GRADE MEETS THE DESIGN GRADE THROUGH THE SUBMITAL OF SIGNED CUT SHEETS TO THE DISTRICT INSPECTOR UPON REQUEST.

SEPTIC TANK ABANDONMENT: SEPTIC TANKS SHALL BE ABANDONED IN ACCORDANCE WITH THE METROPOLITAN ST. LOUIS SEWER DISTRICT STANDARD CONSTRUCTION SPECIFICATIONS FOR SEWER AND DRAINAGE FACILITIES, 2009.

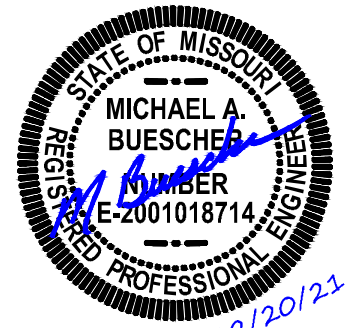
CONTRACTOR'S INSURANCE (OFFSITE): PRIOR TO OBTAINING A CONSTRUCTION PERMIT FROM THE METROPOLITAN ST. LOUIS SEWER DISTRICT, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE THE DISTRICT WITH A COPY OF AN EXECUTED CERTIFICATE OF INSURANCE INDICATING THAT THE PERMITTEE HAS OBTAINED AND WILL CONTINUE TO CARRY COMMERCIAL GENERAL LIABILITY AND COMPREHENSIVE AUTO LIABILITY INSURANCE. THE REQUIREMENTS AND LIMITS SHALL BE AS STATED IN THE RULES AND REGULATIONS AND ENGINEERING DESIGN REQUIREMENTS FOR SANITARY AND STORMWATER DRAINAGE FACILITIES, SECTION 10.090. (ADDENDUM)

SHOP DRAWINGS: THE PROJECT ENGINEER SHALL PROVIDE SHOP DRAWINGS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED IN MISSOURI FOR APPROVAL TO MSD PRIOR TO CONSTRUCTION OF THESE STRUCTURES. STRUCTURES SHALL BE DESIGNED TO SUSTAIN HS-20 LOADS. PLEASE CONTACT THE DISTRICT'S CONSTRUCTION MANAGEMENT DIVISION AT (314) 335-2072 FOR QUESTIONS.

CONTRACTOR TO PROVIDE SIGNED AND SEALED SHOP DRAWINGS TO BE APPROVED BY THE PROJECT ENGINEER & MSD. CONTACT MSD AT 314-335-2072.



MB Engineering, Inc.  
14851 Remington Rd.  
Marion, IL 62959  
(314) 368-3040



Michael A. Buescher, P.E., Civil Engineering  
Missouri P.E. E-2001018714  
MB Engineering, Inc. Missouri Authority No. E-2015041408

The Professional Engineer's seal affixed to this sheet indicates that the named Engineer has prepared or directed the preparation of the material shown only on this sheet. Other drawings and documents not exhibiting this seal shall not be considered prepared by or the responsibility of the undersigned.

**PROJECT REVISION:**

NO.	DATE	DESCRIPTION
1	12-20-21	FOR REVIEW

**4 Glenview Drive**  
Ladue, MO 63124

DATE: 06-09-21  
DRAFTED BY: KB  
APPRVD. BY: MB

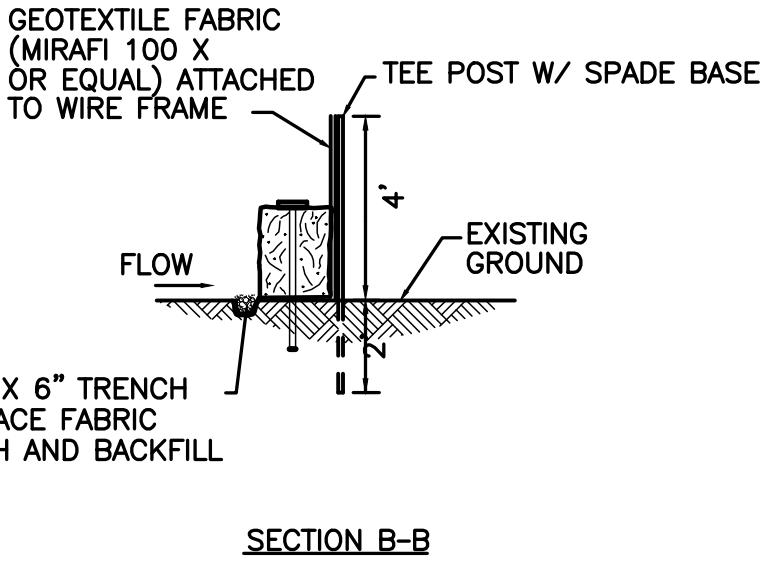
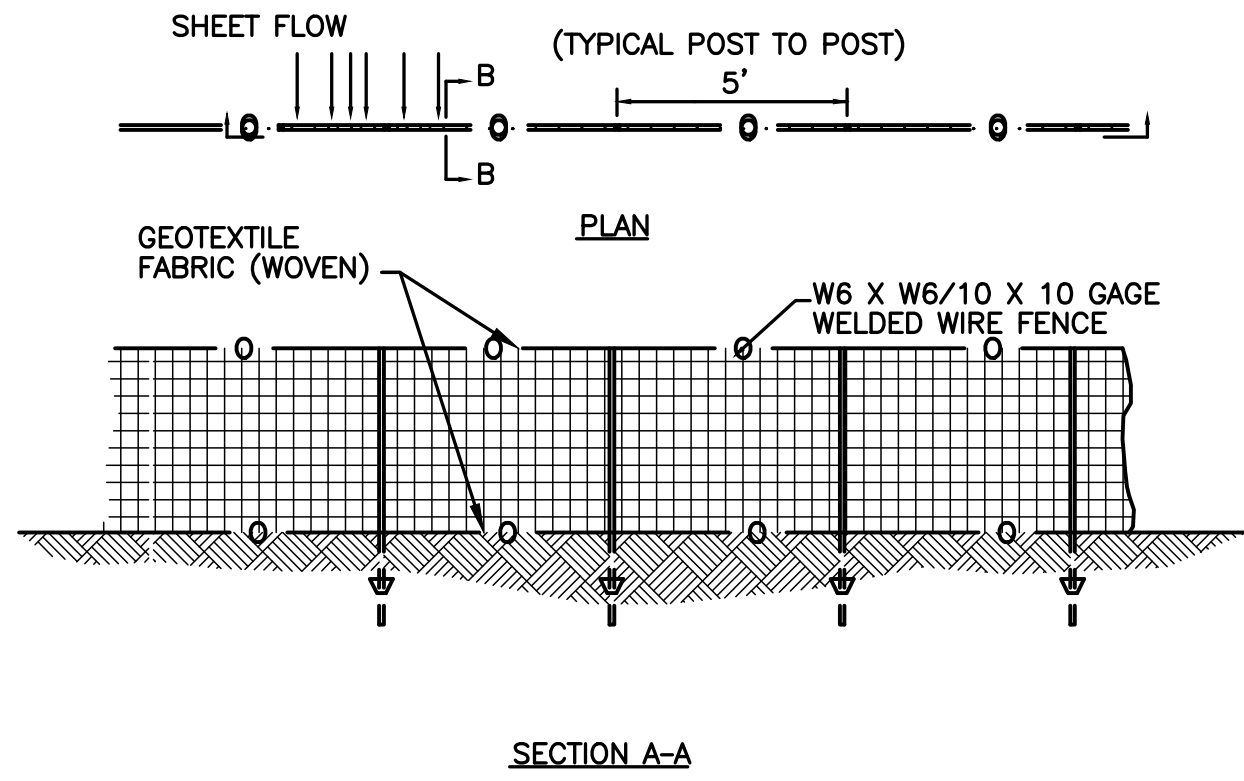
SHEET TITLE:  
SEWER MAIN EXTENSION

SHEET NUMBER:

**C2**

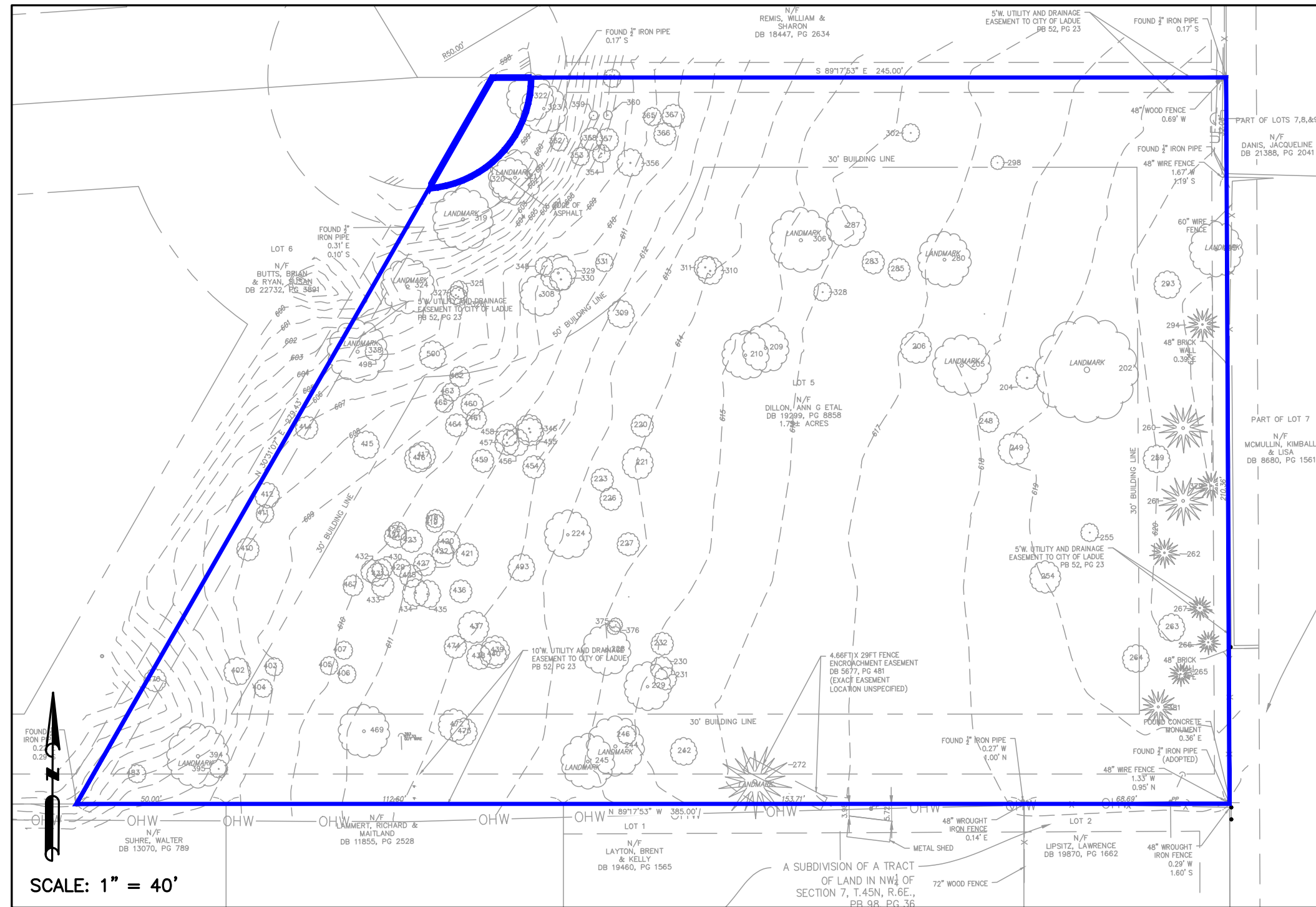
PROJECT NO: 21-553





**A SILTATION FENCE**  
NOT TO SCALE

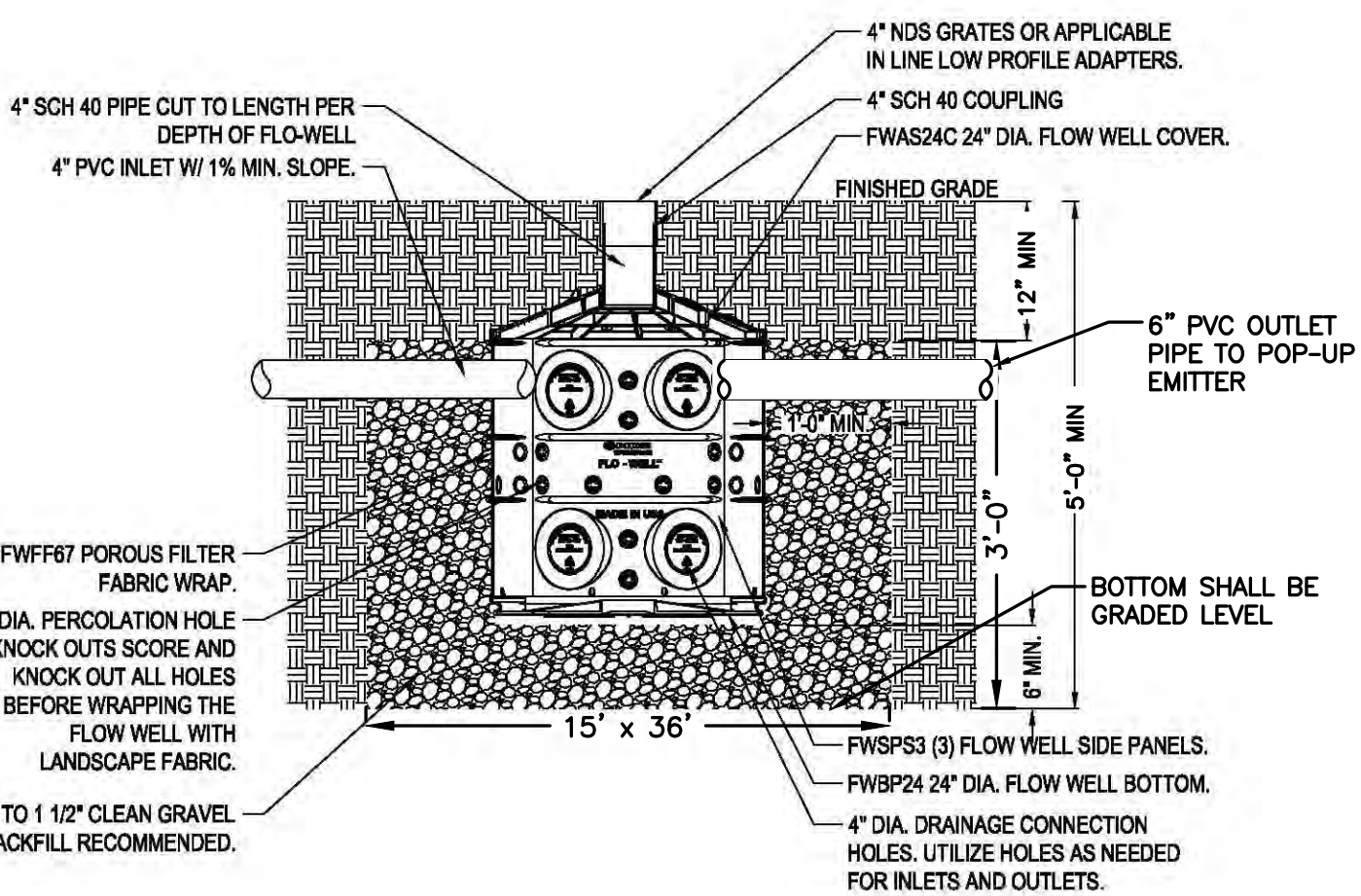
- GENERAL NOTES**
- DO NOT SCALE DRAWING. FOLLOW DIMENSIONS.
  - SILTATION CONTROL DEVICES TO REMAIN IN PLACE FURTHER EROSION OF THE SOIL.
  - SILTATION FENCES SHALL BE INSPECTED PERIODICALLY FOR DAMAGE AND FOR THE AMOUNT OF SEDIMENTATION WHICH HAS ACCUMULATED. REMOVAL OF SEDIMENT WILL BE REQUIRED WHEN IT REACHES 1/2 OF THE HEIGHT OF THE SILTATION FENCE.
  - ATTACHMENT OF WELDED WIRE FENCE AND GEOTEXTILE FABRIC TO BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATION.



EXISTING AREA	AREA (SF)	COVERAGE	ACRES	PI	CFS
ROOF	0.00	0.00%	0.000	4.20	0.000
POOL	0.00	0.00%	0.000	3.54	0.000
PAVEMENT	591.88	0.76%	0.013	3.54	0.047
LAWN	75,786.23	99.24%	1.740	1.70	2.958
TOTALS	76,368.11	100.00%	1.753		3.005



NDS, INC.  
851 NORTH HARVARD AVE.  
LINDSAY, CA 93247  
TOLL FREE: 1-800-726-1994  
PHONE: (559) 562-9888  
FAX: (559) 562-4488  
www.ndspro.com

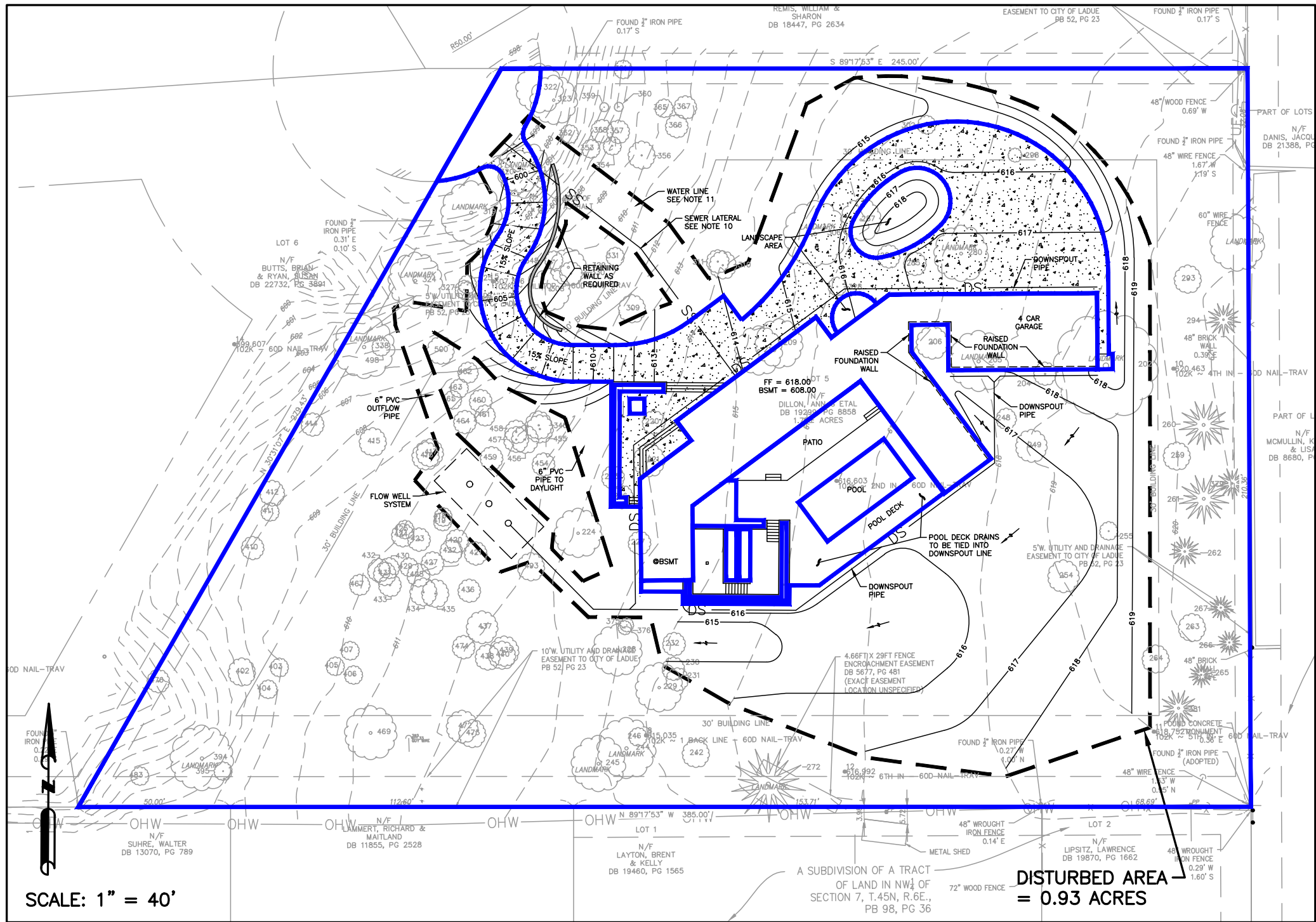


- NOTES:**
- MUST BE INSTALLED 10' AWAY FROM STRUCTURE OR FOUNDATION.
  - FWAS24 KIT DOES NOT COME WITH FWBP24 BTM.
  - REFERENCE FLO-WELL CALCULATOR ON NDSPRO.COM
  - INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  - DO NOT SCALE DRAWING.
  - THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.
  - ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.

**FLO-WELL DRY WELL SYSTEM**  
FLO-WELL INSTALLATION DETAIL - LOAD CLASS "A" & "B" - GRAVEL INSTALLATION DETAIL

REVISION DATE 3-5-2015

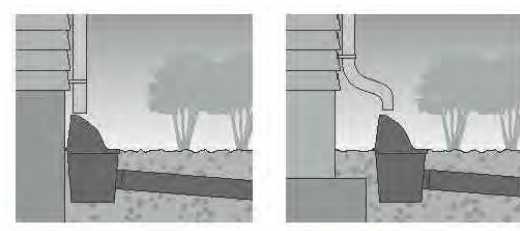
**NOTE:**  
SIDES AND BOTTOM OF TRENCH SHALL BE SCARRED WITH A KNIFE OR RIGID GARDEN RAKE TO PROMOTE INFILTRATION INTO THE SOIL.



PROPOSED AREA	AREA (SF)	COVERAGE	ACRES	PI	CFS
ROOF	4,902.12	6.42%	0.113	4.20	0.473
POOL	560.00	0.73%	0.013	3.54	0.046
PAVEMENT	10,486.27	13.73%	0.241	3.54	0.852
LAWN	60,419.72	79.12%	1.387	1.70	2.358
TOTALS	76,368.11	100.00%	1.753		3.728

## NEW! Downspout Defender – Drainage System Shield

Installing catch basins under downspouts is a best practice for managing stormwater and protecting property. Downspout drainage systems move water away from structures where it can do damage. The Downspout Defender makes a drainage system even more effective by capturing more water and deflecting debris to keep the system running clean.



### Fits all NDS 12" Catch Basins

Model No.	Description	Compatibility
1200DSQ	12" x 12" Downspout Grate	Receives downspouts from 2" to 6" round or square. Fits all NDS 12" square Catch Basins, Risers and Low-Profile adapters.

### Works with our Catch Basin Filter

- Additional protection against clogs from small debris
- Easy to remove and clean



Model No.	Description	Compatibility
900FF	9" Catch Basin Filter	Fits all NDS 9" catch basins, basin kits and risers
1200FF	12" Catch Basin Filter	Fits all NDS 12" catch basins, basin kits and risers

Download our Mobile App – Search for NDS Drainage

Take the powerful resources of the NDS site with you on the go. Access our product catalog, online calculators and planning tools.

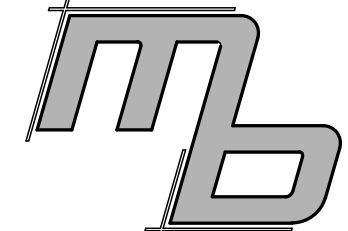
Available on the App Store and Google Play.

Visit [ndspro.com](http://ndspro.com) for:

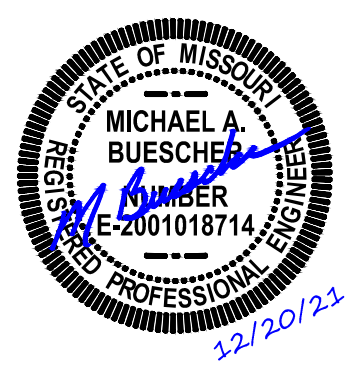
Videos, Tools, Calculators, Downloads, Case Studies, Request a Demo.

NDS Customer Service: 201 N. Harvard Ave., Lindsay, CA 93247. Phone: (559) 562-9888. Fax: (559) 562-4488.

DOWNSPOUT FILTER AND OVERFLOW SYSTEM  
(OR APPROVED EQUAL)



MB Engineering, Inc.  
14851 Remington Rd.  
Marion, IL 62959  
(314) 368-3040



Michael A. Buescher, P.E. Civil Engineering  
Missouri P.E. E-2001018714  
MB Engineering, Inc. Missouri Authority No. E-20015041408

The Professional Engineer's seal affixed to this sheet indicates that the named Engineer has prepared or directed the preparation of the material shown only on this sheet. Other drawings and documents not exhibiting this seal shall not be considered prepared by or the responsibility of the undersigned.

### PROJECT REVISION:

NO.	DATE	DESCRIPTION
1	12-20-21	FOR REVIEW

**4 Glenview Drive**  
Ladue, MO 63124

DATE: 06-09-21  
DRAFTED BY: KB  
APPRVD. BY: MB

SHEET TITLE:  
DRAINAGE MAP  
AND DETAILS

SHEET NUMBER:

**C3**

PROJECT NO: 21-553



Project  
NEW RESIDENCE

4 Glenview Rd  
Ladue, MO

Prepared for :  
Dr.Yazan Abdalla & Deena Saeed

Prepared by:  
Deena Saeed  
Brain Ballok

In Association with :  
Muehlemann Signature Homes  
George Muehlemann

MATERIAL LIBRARY

Limestone Cladding  
( Natural Cut Beige And Smooth Off-White Combination)

Louvers : Flat Or Louvered Black Metal Frame With Wood

Window System : Marvin ( Modern Line) /fleetwood (Gen4)

Accent Walls : Hardwood Siding (Ipe Or Similar)

Metal Coping /stone Caps

Roof : Low Slope EPDM 90 Mil , Light Colored Finish Hidden  
Parapet Wall

Garage Doors : Hardwood Finish Tbd

Entry Front Door : Custom Designed  
Metal with Wood Finish

Driveway : Permeable Pavers



Black Metal clad Accents-Frames  
(Ebony or matching)

Flat /or / Louvered  
Cantilevered Metal Canopy  
(Wood & Dark Metal Frame)  
South and North Louvers

Modern Wood Front Door  
with Glass ; Metal frame  
Exact Design TBD

Hardwood (ipe Siding or similar)

Fleetwood or similar.  
Window wall system,  
with matching  
metal clad color

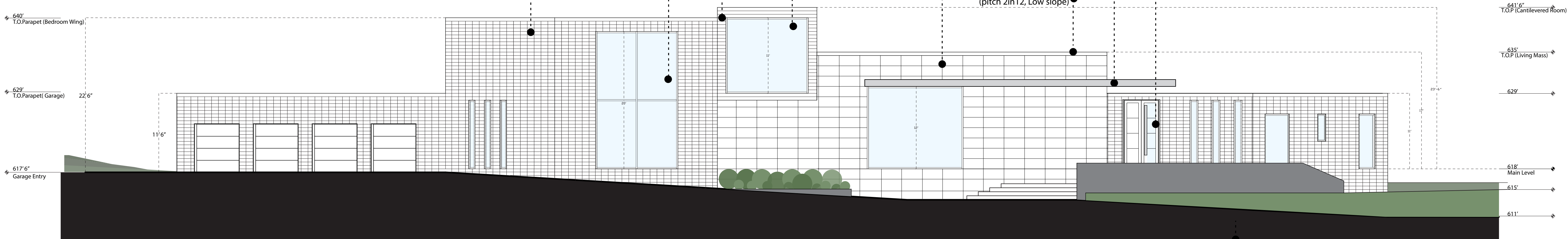
Off-White smooth finish Limestone  
vener (6"x12")

Marvin Modern Line Windows  
or similar  
Black Ebony finish  
Exterior and Interior

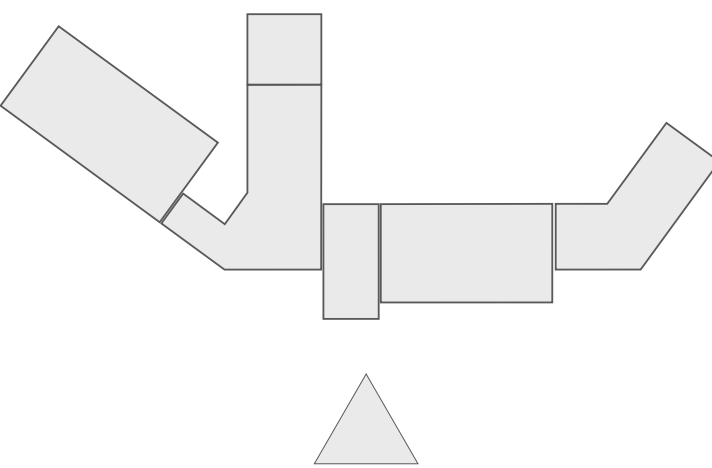
Natural Beige  
Limestone Moca Cream Line  
(36"x18")  
on wood frame construction  
(sample available for review)

Flat /or / Louvered  
Cantilevered Metal Canopy  
(Wood & Dark Metal Frame)

Light colored EPDM Roof  
with Dark Metal coping  
Screened by Parapet  
(pitch 2in 12, Low slope)



Main Elevation (North)  
1/8" = 1'-0"



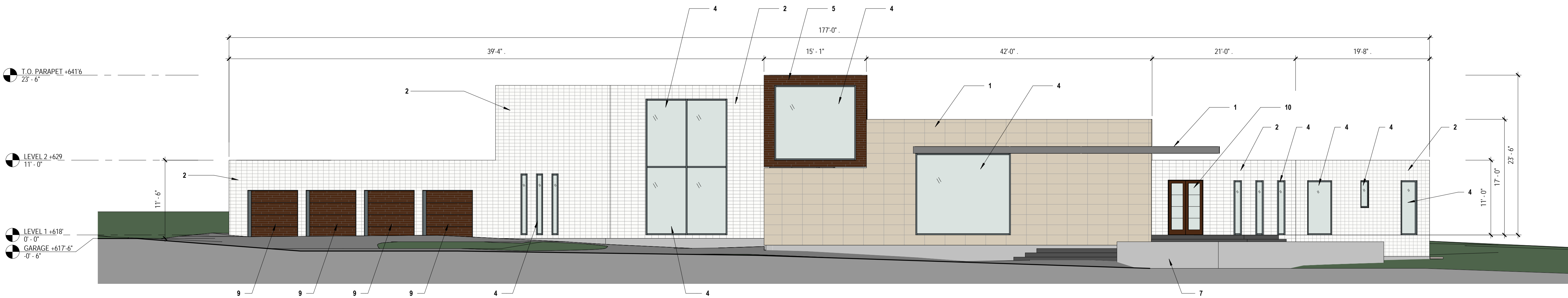
Elevation Materials

Date 01/01/2022  
Drawn by Deena Saeed  
Checked by Chandler Ahrens

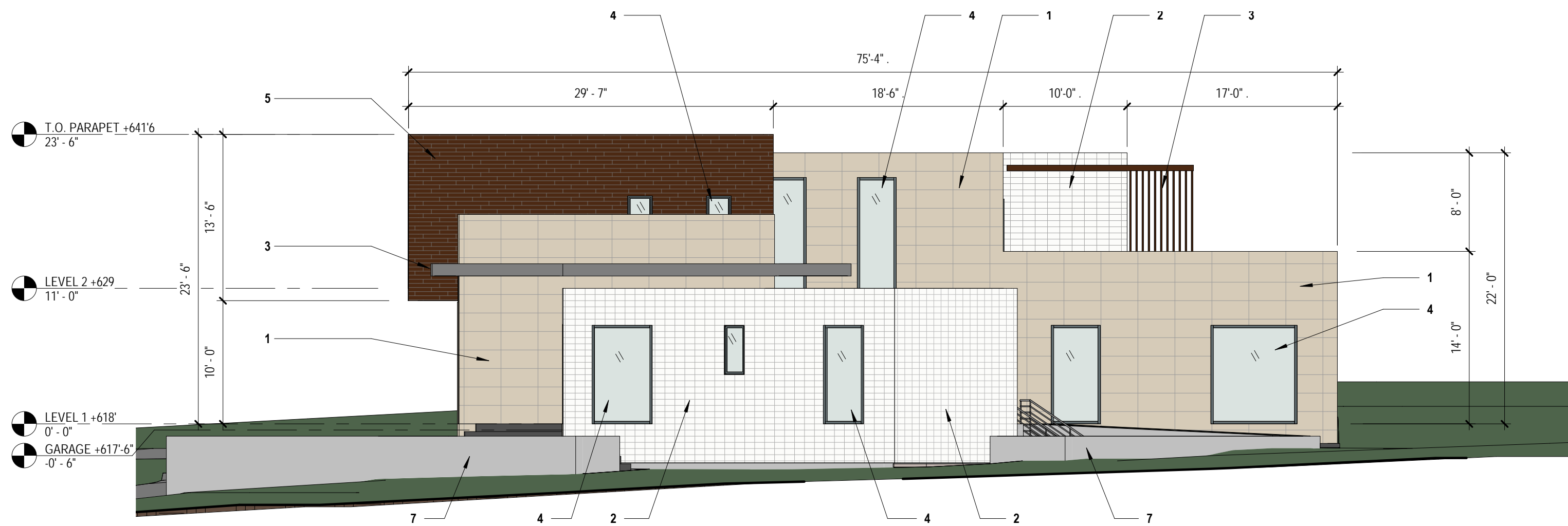
A03

Scale 1/8" = 1'-0"

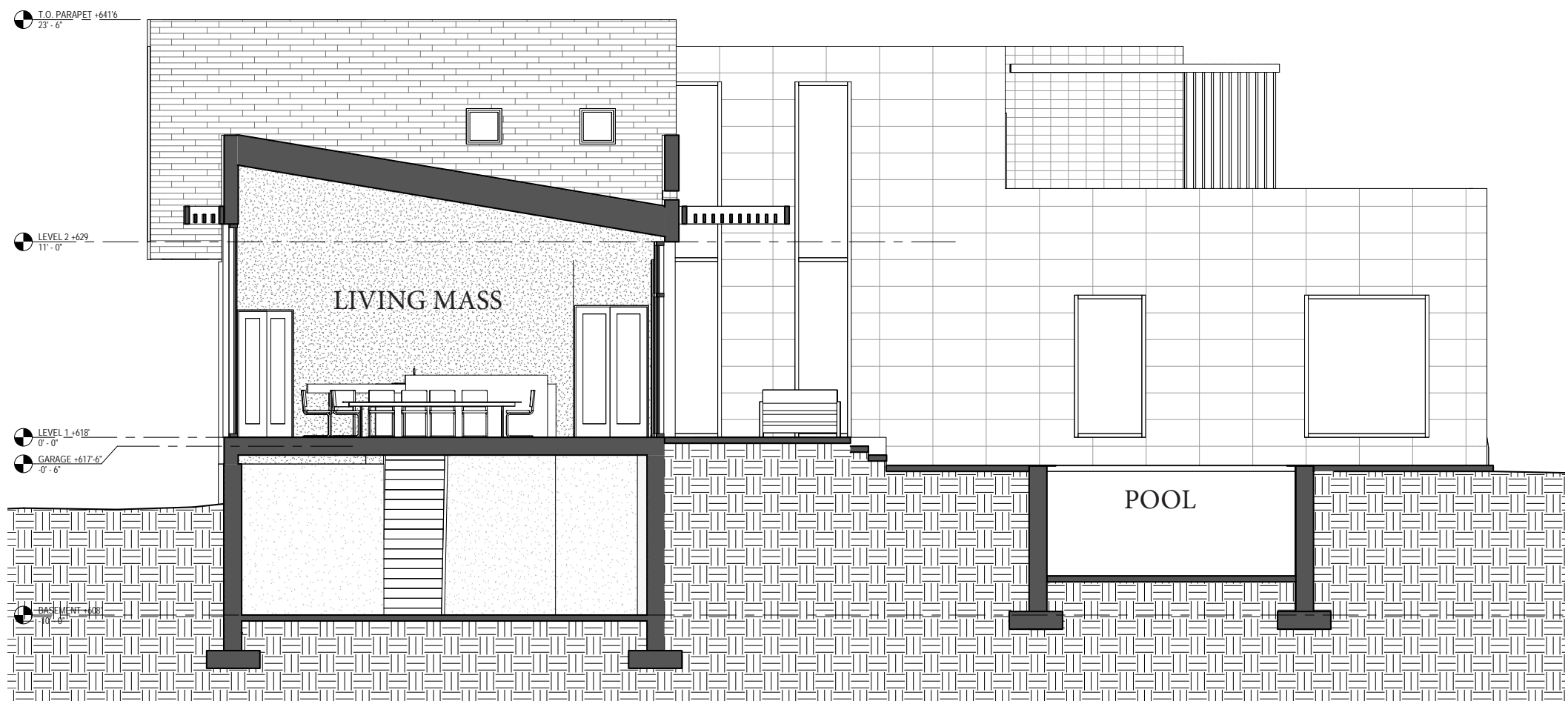




1. NORTH ELEVATION  
1/8" = 1'-0"



2. WEST ELEVATION  
1/8" = 1'-0"



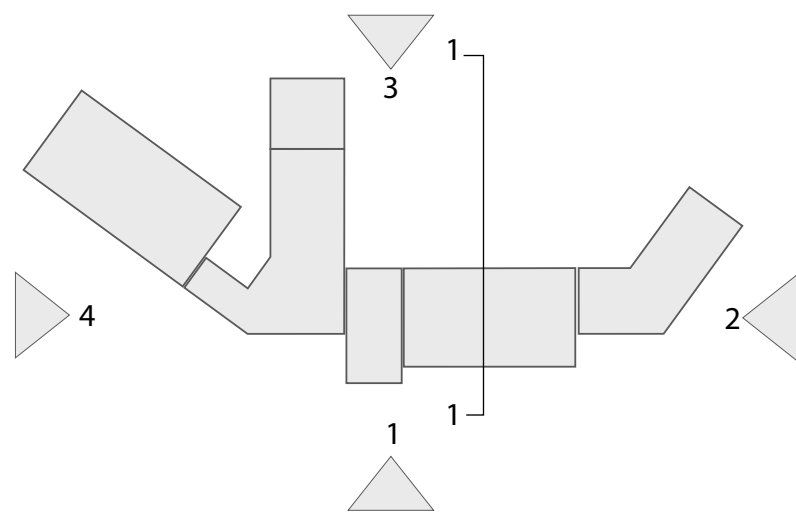
SECTION 1-1  
THROUGH LIVING  
ROOM  
1/8" = 1'-0"

## EXTERIOR MATERIAL KEY

1. LIMESTONE VENEER 1: NATURAL CUT BEIGE 18"x36"
2. LIMESTONE VENEER 2: SMOOTH OFF-WHITE FINISH 6"x12"
3. WOOD LOUVER WITH METAL FRAME
4. EXTRUDED ALUMINUM WINDOW SYSTEM
5. HARDWOOD SIDING (IPE OR SIMILAR)
6. METAL/STONE PARAPET COPING
7. CAST IN PLACE CONCRETE SITE WALL
8. ROOF: EPDM RUBBER, LIGHT FINISH
9. GARAGE DOORS: HARDWOOD FINISH TBD
10. ENTRY DOOR: CUSTOM FABRICATED STEEL/WOOD FINISH

Project  
NEW RESIDENCE  
  
4 Glenview Rd  
Ladue, MO  
  
Prepared for :  
Dr.Yazan Abdalla & Deena Saeed

Prepared by:  
Deena Saeed  
Brian Ballok  
  
In Association with :  
Muehlemann Signature Homes  
George Muehlemann



Elevations|Sections

Date 01/01/2022  
Drawn by Deena Saeed & Brian Ballok  
Checked by Chandler Ahrens

A04

Scale 1/8" = 1'-0"

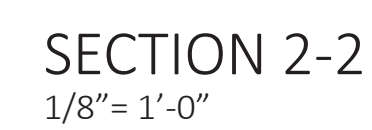


4 Glenview Rd  
Ladue, MO

In Association with :  
Muehleemann Signature Homes  
George Muehleemann



1. LIMESTONE VENEER 1: NATURAL CUT BEIGE 18"x36"
2. LIMESTONE VENEER 2: SMOOTH OFF-WHITE FINISH 6"x12"
3. WOOD LOUVER WITH METAL FRAME
4. EXTRUDED ALUMINUM WINDOW SYSTEM
5. HARDWOOD SIDING (IPE OR SIMILAR)
6. METAL/STONE PARAPET COPING
7. CAST IN PLACE CONCRETE SITE WALL
8. ROOF: EPDM RUBBER, LIGHT FINISH
9. GARAGE DOORS: HARDWOOD FINISH TBD
10. ENTRY DOOR: CUSTOM FABRICATED STEEL/WOOD FINISH



A05

---

Scale  $1/8" = 1'-0"$



1. APPROACH- NW VIEW



2. BACKYARD- SOUTH VIEW

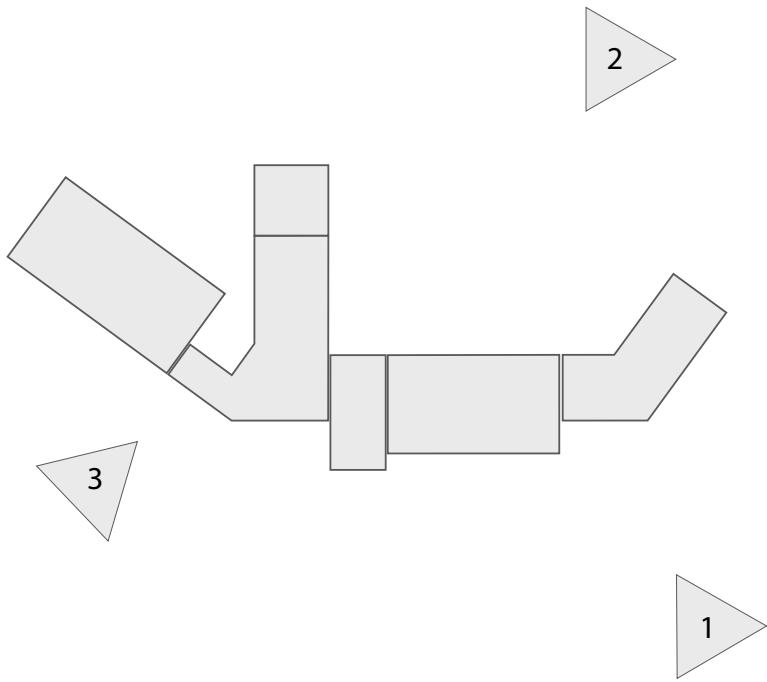


3. NORTH EASTERN CORNER



Project  
NEW RESIDENCE  
  
4 Glenview Rd  
Ladue, MO  
  
Prepared for :  
Dr.Yazan Abdalla & Deena Saeed

Prepared by:  
Deena Saeed  
Brian Ballok  
  
In Association with :  
Muehlemann Signature Homes  
George Muehlemann



3D Views

Date 01/01/2022  
Drawn by Deena Saeed& Brian Ballok  
Checked by Chandler Ahrens

A06

Scale 1/8" = 1'-0"



Project  
NEW RESIDENCE

4 Glenview Rd  
Ladue, MO

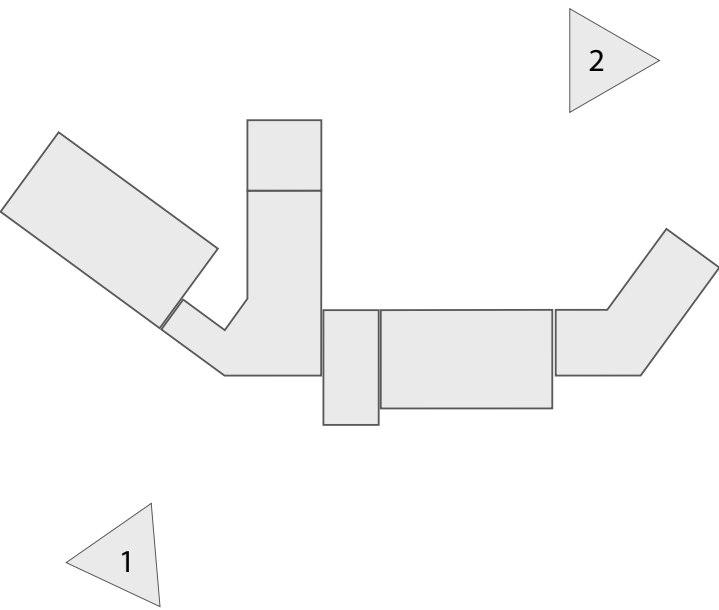
Prepared for :  
Dr.Yazan Abdalla & Deena Saeed

Prepared by:  
Deena Saeed  
Brain Ballok

In Association with :  
Muehlemann Signature Homes  
George Muehlemann



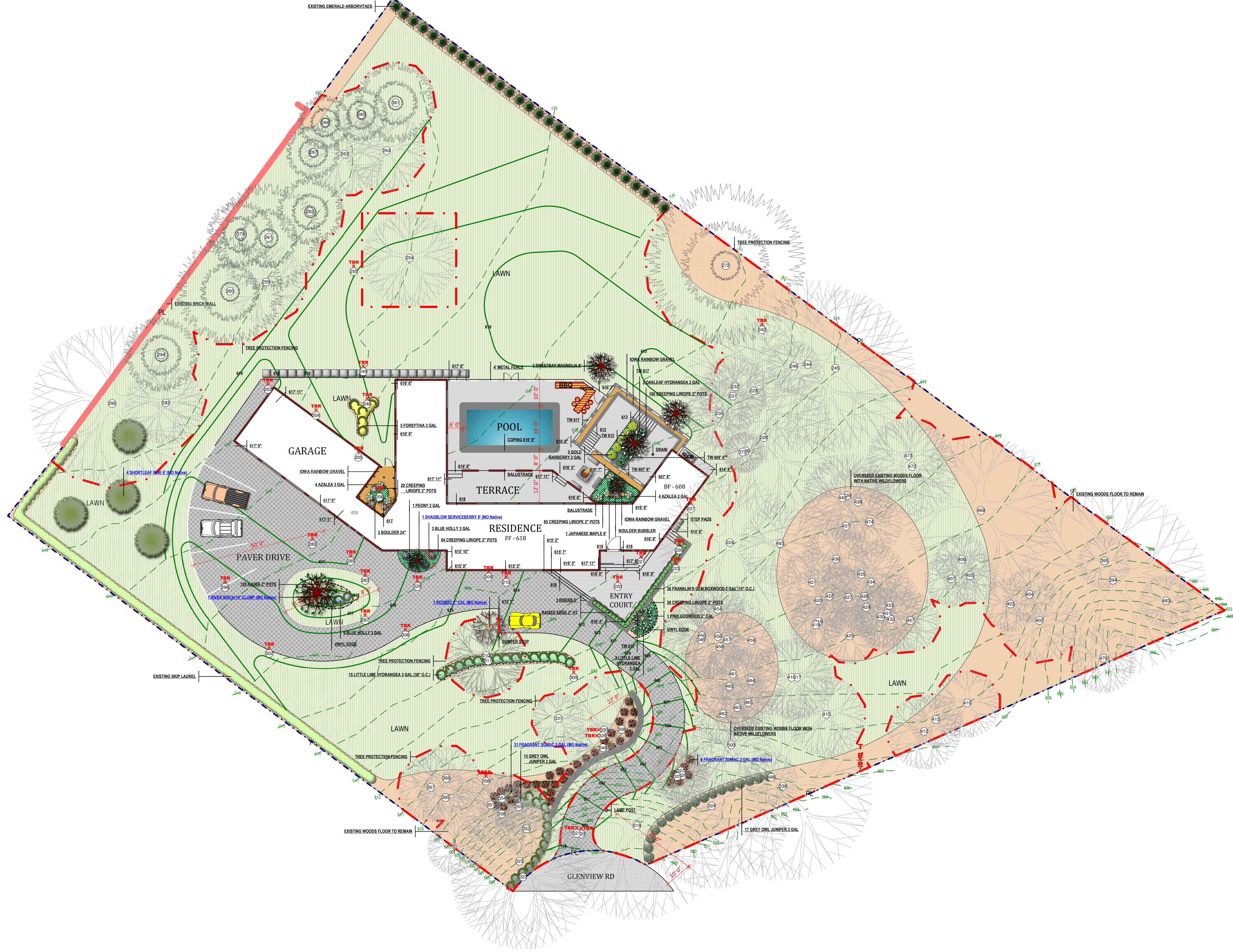
1. NORTH EASTERN CORNER



2.SOUTHERN BACKYARD

Renderings

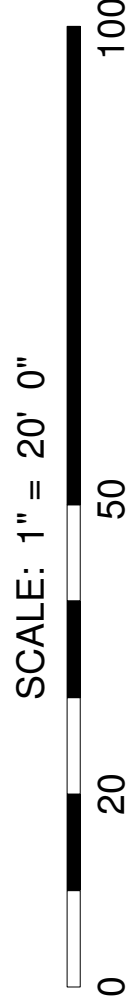




CONTRACTOR TO PROTECT TREES WITH:  
TREE PROTECTION FENCING  
NO PARKING OR STORAGE OF ANY KIND  
ROOT PRUNE ANY UTILITY THAT CROSSES  
CRITICAL ROOT ZONE

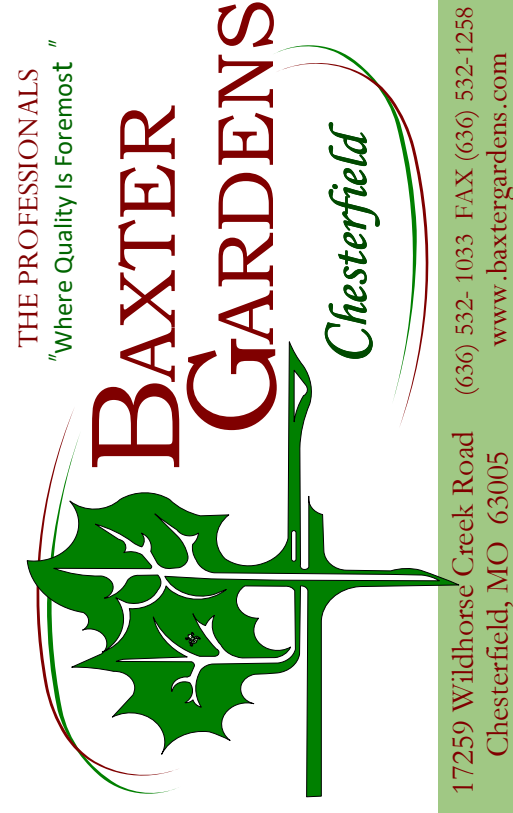
NOTE: EXISTING TREE SYMBOL  
SIZE REPRESENTS THE EXTENT OF  
CRITICAL ROOT ZONE

NOTE: ALL GRADES, PAVING,  
AND WALLS MUST BE APPROVED  
BY A CIVIL ENGINEER.



L1

LANDSCAPE DEVELOPMENT PLAN FOR  
**Dr. YAZAN ABDALLA &  
DEENA SAEED**  
4 Glenview Road  
Ladue, MO 63124  
dr-yazanabdalla@gmail.com deenasaeed@gmail.com



DESIGNED BY: **Barry T. Poehlmann**  
Landscape Architect

ORIGINAL DATE: November 18, 2021

REVISION DATE: 12/21/21 - 1/11/22

GRAPHIC ART: CST

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EXISTING TREE SCHEDULE

ID Number	Scientific Name	Common Name	Tree Type	Caliper (inches)	Condition	TBR or Remain	Impacted	Landmark Tree	Street Tree	Comments
202	Quercus alba	White Oak	deciduous	46	good	tbl		X		Improvement footprint
204	Diagryps virginiana	Perseemon	deciduous	10	good	tbl			X	Improvement footprint
205	Quercus rubra	Red Oak	deciduous	26	good	tbl			X	Improvement footprint
206	Quercus rubra	Red Oak	deciduous	14	good	tbl				Improvement footprint
209	Prunus serotina	Black Cherry	deciduous	21	good	tbl				Improvement footprint
210	Prunus serotina	Black Cherry	deciduous	21	good	tbl				Improvement footprint
220	Diagryps virginiana	Perseemon	deciduous	19	good	tbl				Improvement footprint
221	Ulmus	Elm	deciduous	14	good	tbl				Improvement footprint
223	Diagryps virginiana	Perseemon	deciduous	10	good	tbl				Improvement footprint
224	Juglans	Walnut	deciduous	21	good	remain	X			
226	Diagryps virginiana	Perseemon	deciduous	19	good	tbl				Improvement footprint
227	Ulmus	Elm	deciduous	19	good	tbl				Improvement footprint
228	Quercus rubra	Red Oak	deciduous	22	good	remain	X			
229	Quercus rubra	Red Oak	deciduous	21	good	remain	X			
230	Diagryps virginiana	Perseemon	deciduous	10	good	remain	X			
231	Diagryps virginiana	Perseemon	deciduous	10	good	remain	X			
232	Diagryps virginiana	Perseemon	deciduous	10	good	remain	X			
242	Prunus serotina	Black Cherry	deciduous	12	good	tbl				Improvement footprint
244	Quercus rubra	Red Oak	deciduous	26	good	remain	X	X		
245	Quercus rubra	Red Oak	deciduous	24	good	remain	X	X		
246	Acer negundo	Boxelder Maple	deciduous	8	good	remain				
248	Ulmus	Elm	deciduous	9	good	tbl				Improvement footprint
249	Quercus rubra	Red Oak	deciduous	14	good	tbl				Improvement footprint
254	Ulmus	Elm	deciduous	14	good	remain	X			
255	Diagryps virginiana	Perseemon	deciduous	8	good	tbl				Homeowner requested removal
259	Acer rubrum	Red Maple	deciduous	12	good	remain	X			
260	Pinus	Pine	evergreen	16	good	remain	X			
261	Pinus	Pine	evergreen	16	good	remain	X			
262	Picea	Spruce	evergreen	10	good	remain	X			
263	Celtis occidentalis	Hackberry	deciduous	12	good	tbl				Homeowner requested removal
264	Celtis occidentalis	Hackberry	deciduous	12	good	tbl				Homeowner requested removal
265	Picea	Spruce	evergreen	8	good	remain	X			
266	Picea	Spruce	evergreen	8	good	remain	X			
267	Picea	Spruce	evergreen	8	good	remain	X			
272	Pinus	Pine	evergreen	24	good	remain	X	X		
280	Fraxinus	Ash	deciduous	24	good	tbl				Improvement footprint
283	Carya	Hickory	deciduous	10	good	tbl				Improvement footprint
285	Carya	Hickory	deciduous	10	good	tbl				Improvement footprint
287	Pinus	Chert	deciduous	18	good	tbl				Improvement footprint
293	Fraxinus	Ash	deciduous	12	good	tbl				Homeowner requested removal
294	Pinus	Pine	evergreen	11	good	remain	X			
295	Fraxinus	Ash	deciduous	24	good	tbl		X		Homeowner requested removal
298	Ulmus	Elm	deciduous	6	good	tbl				Improvement footprint
302	Diagryps virginiana	Perseemon	deciduous	8	good	tbl				Improvement footprint
306	Quercus rubra	Red Oak	deciduous	28	good	tbl		X		
308	Carya	Hickory	deciduous	18	good	remain	X			
309	Prunus serotina	Black Cherry	deciduous	12	good	tbl				Homeowner requested removal
310	Diagryps virginiana	Perseemon	deciduous	12	good	remain	X			
311	Diagryps virginiana	Perseemon	deciduous	10	good	remain	X			
319	Celtis occidentalis	Cycamore	deciduous	27	good	tbl		X		Homeowner requested removal
320	Quercus rubra	Red Oak	deciduous	18	good	tbl				Improvement footprint
321	Populus deltoides	Cottonwood	deciduous	24	good	tbl		X		Improvement footprint
322	Fraxinus	Ash	deciduous	21	good	remain	X	X		
323	Populus deltoides	Cottonwood	deciduous	21	good	remain	X			
324	Quercus alba	White Oak	deciduous	24	good	remain	X	X		
325	Diagryps virginiana	Perseemon	deciduous	8	good	remain	X			
326	Diagryps virginiana	Perseemon	deciduous	8	good	remain	X			
327	Diagryps virginiana	Perseemon	deciduous	8	good	remain	X			
329	Prunus serotina	Black Cherry	deciduous	16	good	tbl				Homeowner requested removal
330	Prunus serotina	Black Cherry	deciduous	10	good	tbl				Homeowner requested removal
331	Ulmus	Elm	deciduous	8	good	remain	X			
339	Quercus rubra	Red Oak	deciduous	27	good	remain	X	X		
348	Diagryps virginiana	Perseemon	deciduous	8	good	remain	X			
352	Diagryps virginiana	Perseemon	deciduous	8	good	remain	X			
353	Diagryps virginiana	Perseemon	deciduous	8	good	remain	X			
364	Diagryps virginiana	Perseemon	deciduous	8	good	remain	X			
366	Prunus serotina	Black Cherry	deciduous	12	good	tbl				Homeowner requested removal
367	Diagryps virginiana	Perseemon	deciduous	10	good	remain	X			
368	Diagryps virginiana	Perseemon	deciduous	10	good	remain	X			
369	Diagryps virginiana	Perseemon	deciduous	8	good	remain	X			
365	Ulmus	Elm	deciduous	9	good	remain	X			
366	Diagryps virginiana	Perseemon	deciduous	10	good	remain	X			
367	Carya	Hickory	deciduous	10	good	remain	X			
375	Diagryps virginiana	Perseemon	deciduous	6	good	remain	X			
376	Diagryps virginiana	Perseemon	deciduous	6	good	remain	X			
379	Pinus	Pine	evergreen	10	good	remain	X			
384	Quercus alba	White Oak	deciduous	28	good	remain	X			
385	Ulmus	Elm	deciduous	8	good	remain	X			
402	Carya	Hickory	deciduous	12	good	remain	X			
403	Diagryps virginiana	Perseemon	deciduous	8	good	remain	X			
404	Diagryps virginiana	Perseemon	deciduous	8	good	remain	X			
405	Diagryps virginiana	Perseemon	deciduous	8	good	remain	X			
406	Diagryps virginiana	Perseemon	deciduous	8	good	remain	X			
407	Acer negundo	Boxelder Maple	deciduous	8	good	remain	X			
410	Carya	Hickory	deciduous	10	good	remain	X			
411	Carya	Hickory	deciduous	8	good	remain	X			
412	Carya	Hickory	deciduous	11	good	remain	X			
414	Ulmus	Elm	deciduous	10	good	remain	X			
415	Quercus	Oak	deciduous	12	good	remain	X			
416	Diagryps virginiana	Perseemon	deciduous	12	good	remain	X			
417	Diagryps virginiana	Perseemon	deciduous	12	good	remain	X			
418	Diagryps virginiana	Perseemon	deciduous	8	good	remain	X			
419	Diagryps virginiana	Perseemon	deciduous	8	good	remain	X			
420	Diagryps virginiana	Perseemon	deciduous	10	good	remain	X			
421	Diagryps virginiana	Perseemon	deciduous	10	good	remain	X			
422	Diagryps virginiana	Perseemon	deciduous	10	good	remain	X			
423	Diagryps virginiana	Perseemon	deciduous	10	good	remain	X			
424	Diagryps virginiana	Perseemon	deciduous	10	good	remain	X			
425	Diagryps virginiana	Perseemon	deciduous	8	good	remain	X			
427	Diagryps virginiana	Perseemon	deciduous	10	good	remain	X			
428	Diagryps virginiana	Perseemon	deciduous	10	good	remain	X			
429	Diagryps virginiana	Perseemon	deciduous	8	good	remain	X			
430	Diagryps virginiana	Perseemon	deciduous	9	good	remain	X			
431	Diagryps virginiana	Perseemon	deciduous	10	good	remain	X			
432	Diagryps virginiana	Perseemon	deciduous	10	good	remain	X			
433	Diagryps virginiana	Perseemon	deciduous	10	good	remain	X			
434	Diagryps virginiana	Perseemon	deciduous	12	good	remain	X			
435	Diagryps virginiana	Perseemon	deciduous	12	good	remain	X			
436	Diagryps virginiana	Perseemon	deciduous	10	good	remain	X			
437	Diagryps virginiana	Perseemon	deciduous	14	good	remain	X			
438	Diagryps virginiana	Perseemon	deciduous	11	good	remain	X			
439	Diagryps virginiana	Perseemon	deciduous	13	good	remain	X			
440	Diagryps virginiana	Perseemon	deciduous	12	good	remain	X			
444	Diagryps virginiana	Perseemon	deciduous	10	good	remain	X			
455	Diagryps virginiana	Perseemon	deciduous	12	good	remain	X			
456	Diagryps virginiana	Perseemon	deciduous	12	good	remain	X			
457	Diagryps virginiana	Perseemon	deciduous	11	good	remain	X			
458	Diagryps virginiana	Perseemon	deciduous	10	good	remain	X			
459	Diagryps virginiana	Perseemon	deciduous	10	good	remain	X			
460	Diagryps virginiana	Perseemon	deciduous	10	good	remain	X			
461	Diagryps virginiana	Perseemon	deciduous	9	good	remain	X			
462	Diagryps virginiana	Perseemon	deciduous	9	good	remain	X			
463	Diagryps virginiana	Perseemon	deciduous	8	good	remain	X			
464	Diagryps virginiana	Perseemon	deciduous	10	good	remain	X			
465	Diagryps virginiana	Perseemon	deciduous	8	good	remain	X			
467	Diagryps virginiana	Perseemon	deciduous	9	good	remain	X			
469	Acer	Maple	deciduous	23	good	remain	X			
472	Quercus	Oak	deciduous	14	good	remain	X			
473	Quercus	Oak	deciduous	12	good	remain	X			
474	Ulmus	Elm	deciduous	10	good	remain	X			
476	Celtis occidentalis	Hackberry	deciduous	10	good	remain	X			
482	Acer negundo	Boxelder Maple	deciduous	8	good	remain	X			
493	Ulmus	Elm	deciduous	12	good	remain	X			
498	Carya	Hickory	deciduous	8	good	remain	X			
500	Ulmus	Elm	deciduous	12	good	remain	X			

TOTAL TREES REMOVED GREATER THAN 6" = 33  
TOTAL # OF NEW TREES GREATER THAN 3" = 8  
% OF TREES REMOVED GREATER THAN 6" = 24.1%

PROPOSED DECIDUOUS/EVERGREEN TREE SCHEDULE

QUANTITY	BOTANICAL NAME	COMMON NAME	TREE TYPE	SIZE (INCHES)	TOTAL CALIPER REPLACEMENT	STREET TREE	COMMENTS
1	Koeleria paniculata	Gold Retrow	Deciduous	2"	2"		
1	Betula nigra	River Birch	Deciduous	3"	3"		NO Native
1	Ambrosia canadensis	Shadblow Senebaster	Deciduous	3"	3"		NO Native
2	Cornus florida	Flower Dogwood	Deciduous	2"	4"		
1	Acer palmatum	Japanese Maple	Deciduous	3"	3"		
2	Magnolia virginiana	Sweetbay Magnolia	Broadleaf Evergreen	3"	6"		
1	Chamaecyparis thyoides	Weeping Atlantic Cedar	Broadleaf Evergreen	3"	3"		
4	Pinus strobus	White Pine	Needleleaf Evergreen	1.5"	6"		

SHRUBS & PERENNIALS SCHEDULE

COMMON NAME	BOTANICAL NAME
Ajuga	Ajuga reptans
Blue Holly	Ilex x meserveae
Creeping Liriope	Liriope spicata
Peony	Paeonia
Little Lime Hydrangea	Hydrangea paniculata 'Jane'
Fragrant Sumac	Rhus aromatica
Grey Owl Juniper	Juniperus virginiana 'Grey Owl'
Franklin's Gem Boxwood	Buxus sinica var. insularis 'Franklin's Gem'
Hosta	Hosta
Azalea	Rhododendron
Gold Barberry	Berberis thunbergii 'Aurea'
Oakleaf Hydrangea	Hydrangea quercifolia
Orange Rocket Barberry	Berberis thunbergii 'Orange Rocket' PP#18,411
Stella de Oro Daylily	Hemerocallis 'Stella de Oro'
Leather Leaf Viburnum	Viburnum rhytidophyllum
Forsythia	Forsythia x intermedia

LOT SIZE: 74,160 ft<sup>2</sup>  
PERMEABLE: 60,470 ft<sup>2</sup> (81.5%)  
IMPERMEABLE: 13,690 ft<sup>2</sup> (18.5%)

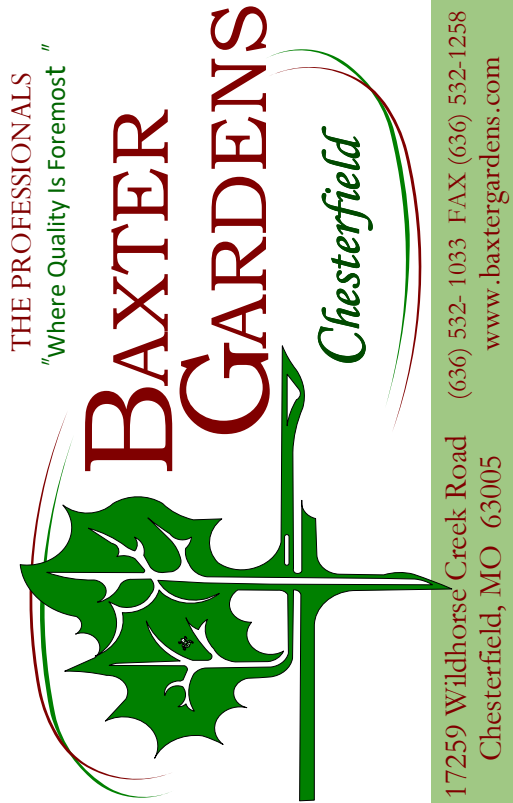


DESIGNED BY: Barry T. Poehlmann  
Landscape Architect

ORIGINAL DATE: November 18, 2021

REVISION DATE: 12/21/21 - 1/11/22

GRAPHIC ART: CST



LANDSCAPE DEVELOPMENT PLAN FOR  
Dr. YAZAN ABDALLA &  
DEENA SAEED  
4 Glenview Road  
Ladue, MO 63124  
dr-yazanabdalla@gmail.com deenasaeed@gmail.com

L2

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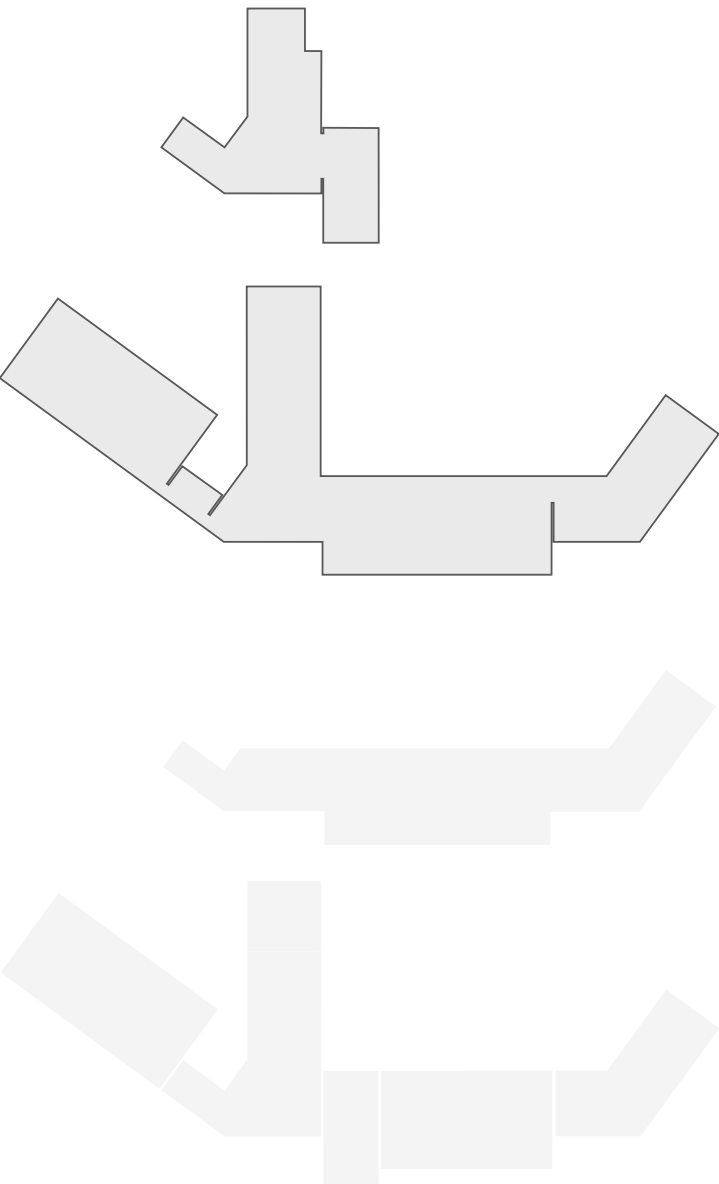
Project  
NEW RESIDENCE

4 Glenview Rd  
Ladue, MO

Prepared for :  
Dr.Yazan Abdalla & Deena Saeed

Prepared by:  
Deena Saeed  
Brain Ballok

In Association with :  
Muehleemann Signature Homes  
George Muehleemann



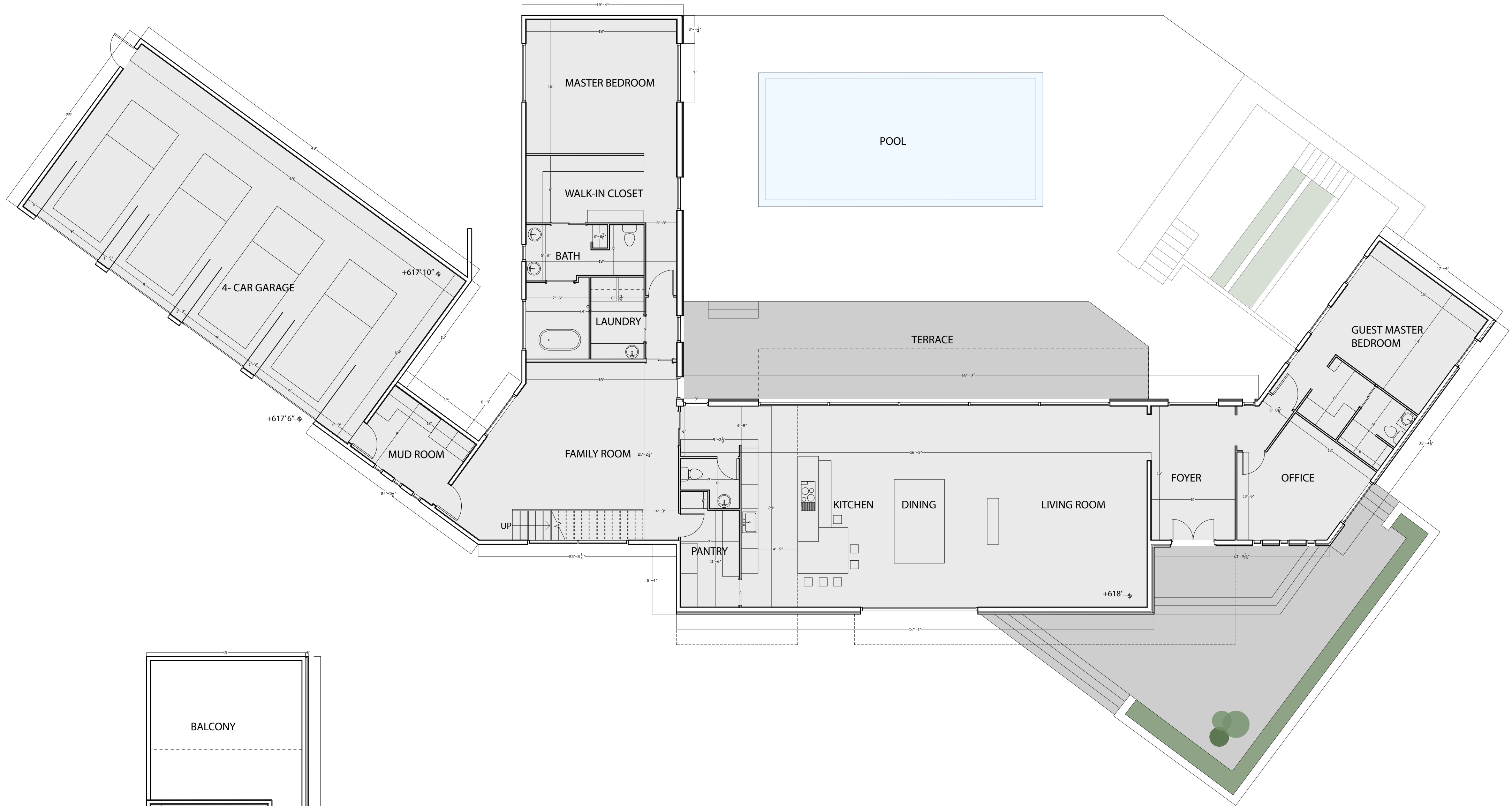
## Floor Plans ( Main Level & 2nd Level )

Date 01/01/2022  
Drawn by Deena Saeed  
Checked by Chandler Ahrens

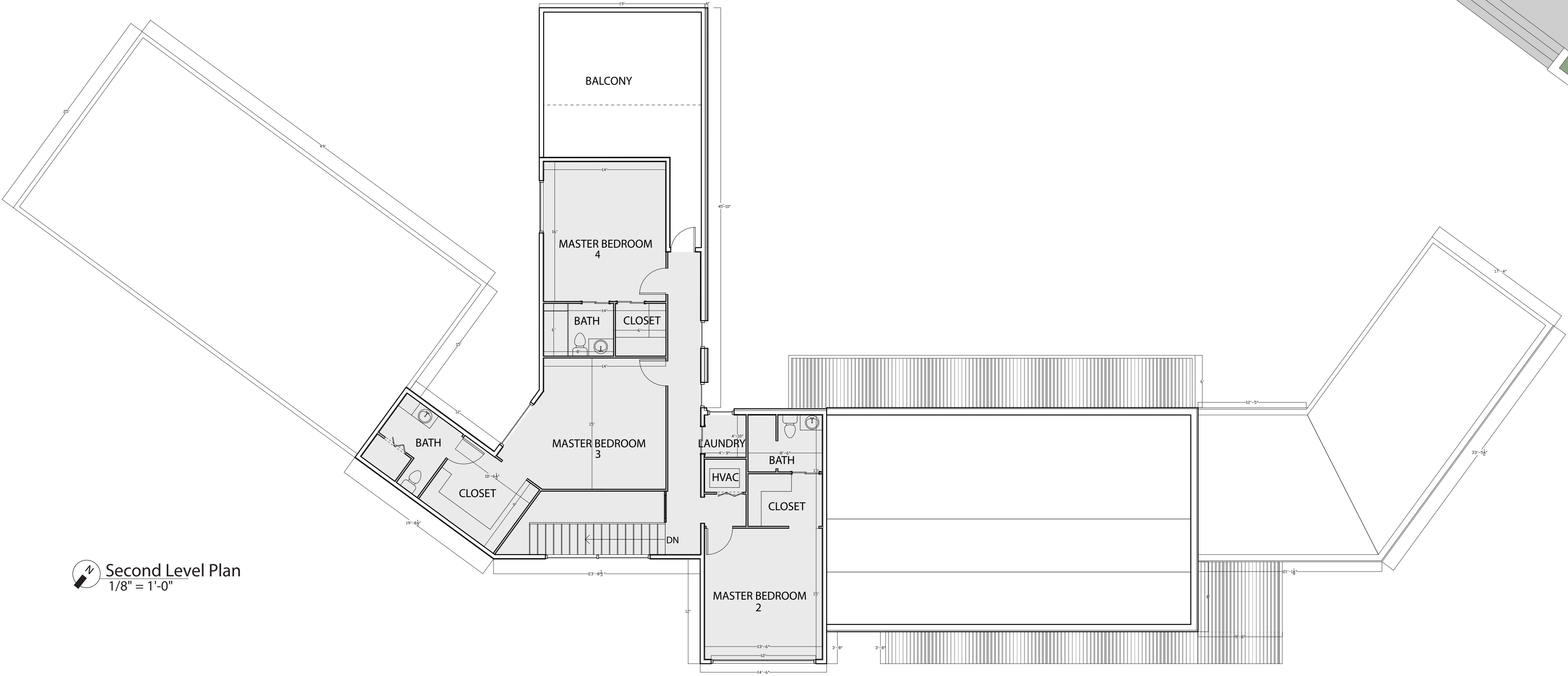
A01

Scale 1/8" = 1'-0"

Main Level Plan  
1/8" = 1'-0"



Second Level Plan  
1/8" = 1'-0"





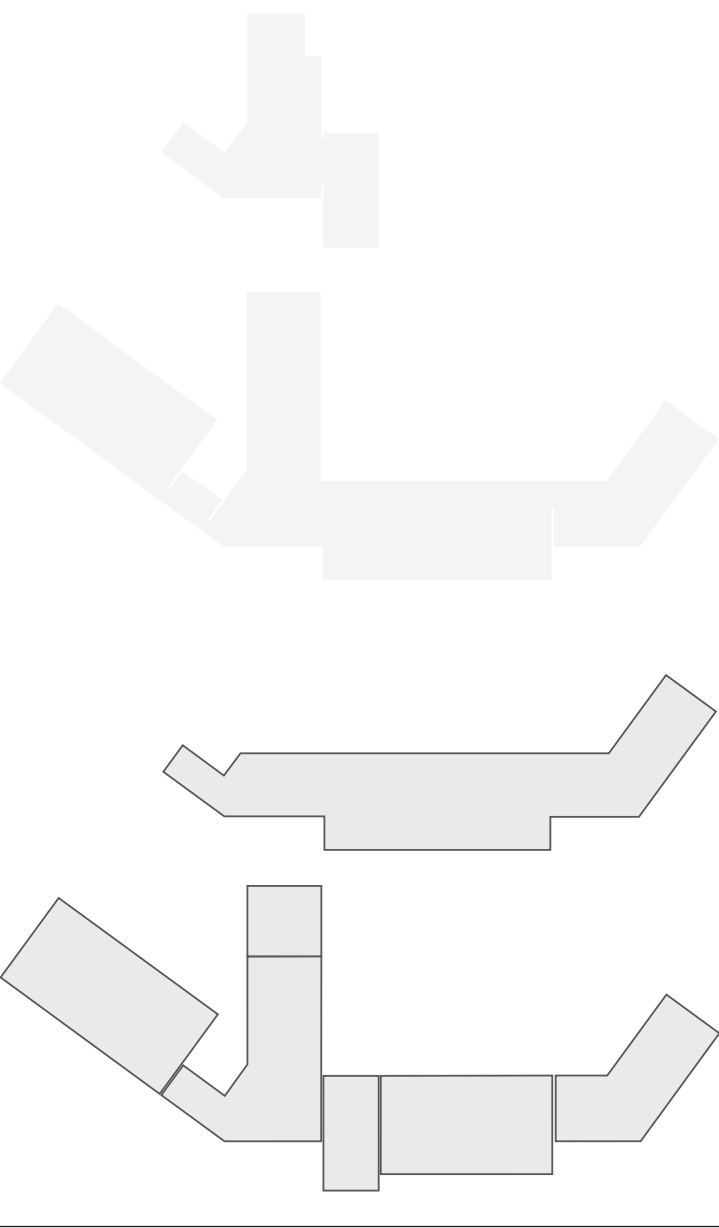
Project  
NEW RESIDENCE

4 Glenview Rd  
Ladue, MO

Prepared for :  
Dr.Yazan Abdalla & Deena Saeed

Prepared by:  
Deena Saeed  
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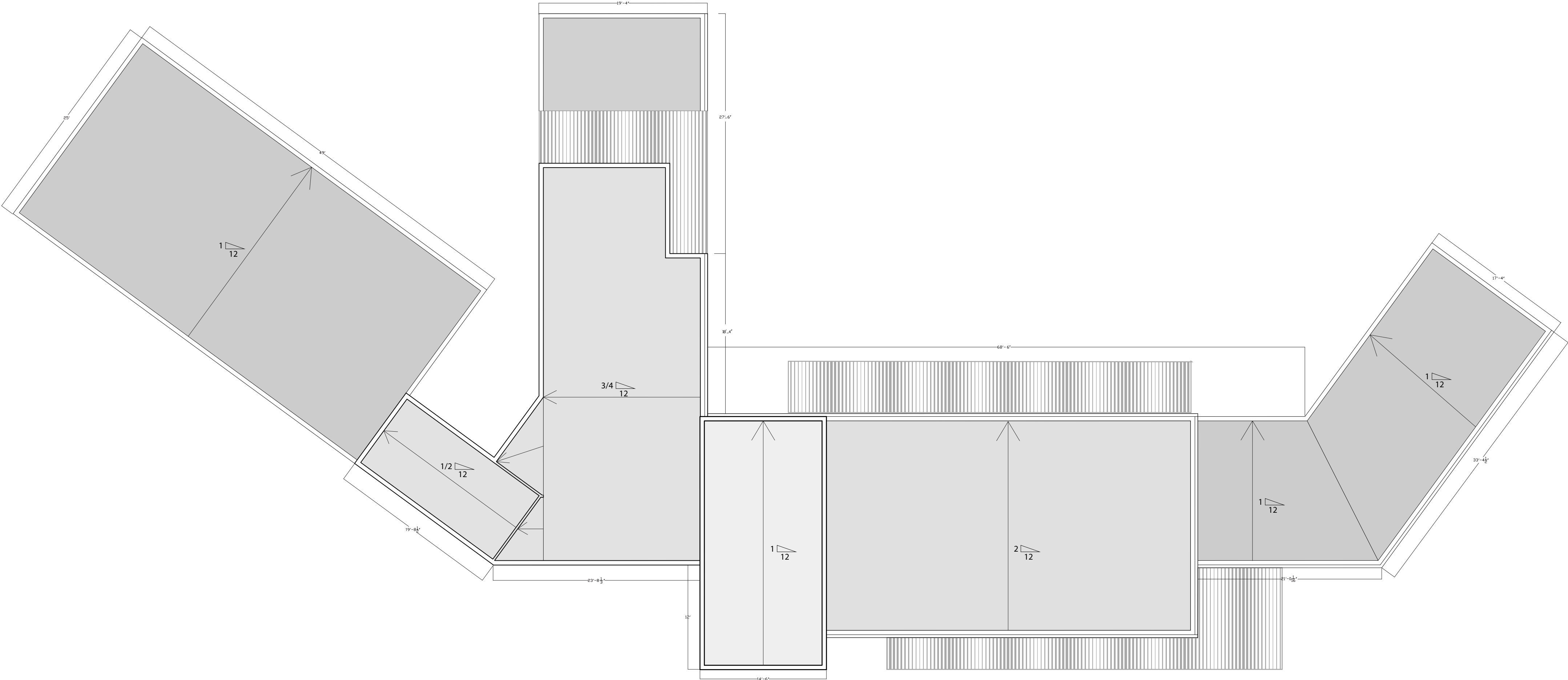
Floor Plans  
( Roof & Basement)

Date	01/01/2022
Drawn by	Deena Saeed
Checked by	Chandler Ahrens

A02

Scale	1/8" = 1'-0"
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Roof Level Plan  
1/8" = 1'-0"



Basement Level Plan  
1/8" = 1'-0"

